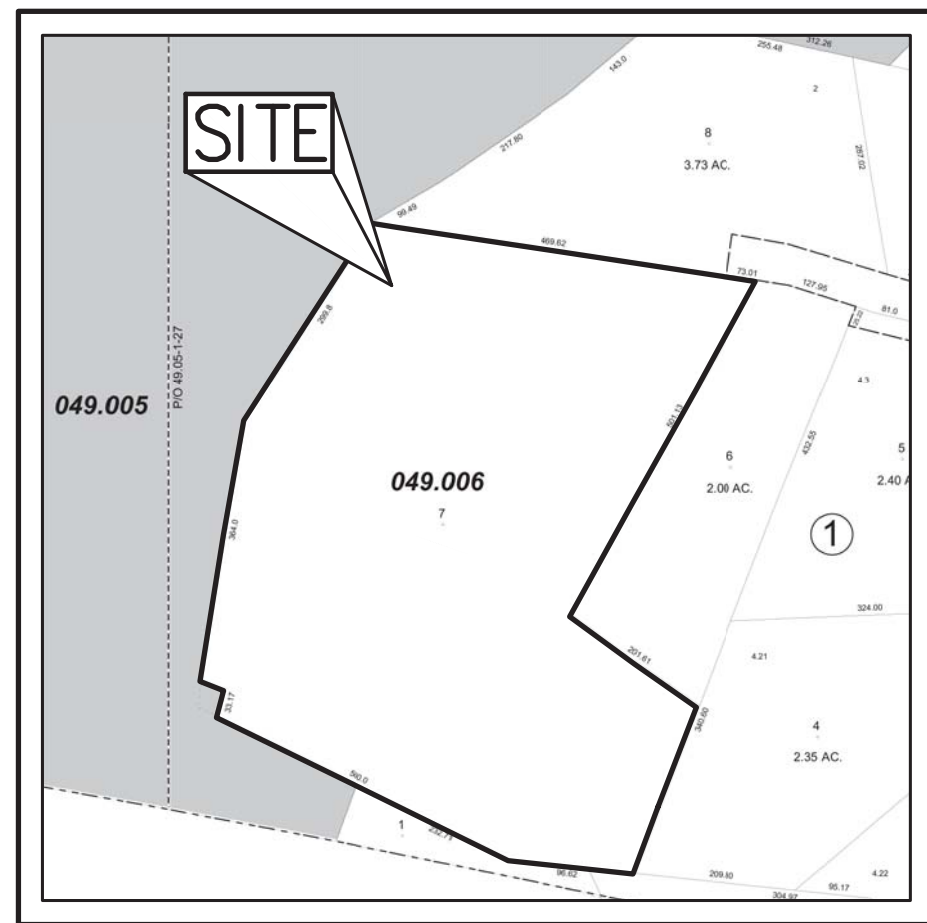


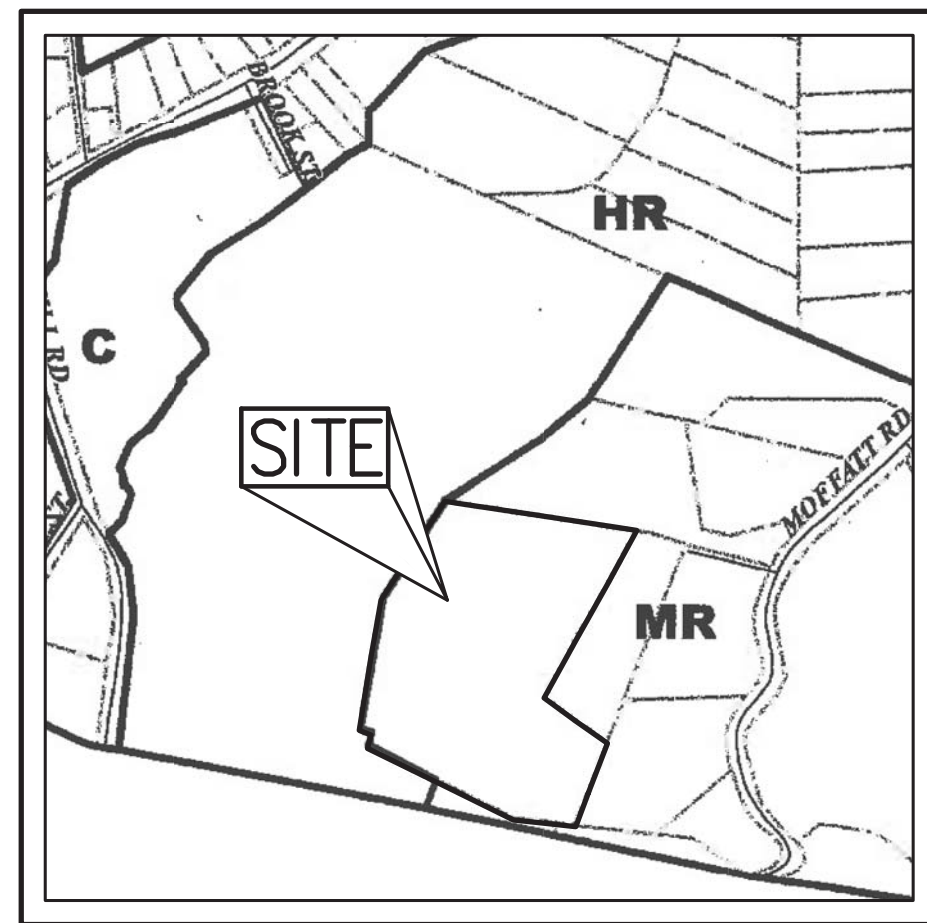
<u>PROPOSED WORK:</u>	PROPOSED UNMANNED COMMERCIAL COMMUNICATIONS TOWER WITH PERSONAL WIRELESS SERVICE FACILITIES INCLUDING THE INSTALLATION OF A 95' MONOPINE WITH ANTENNAS AND ASSOCIATED EQUIPMENT WITHIN A PROPOSED FENCED MULTI-CARRIER WIRELESS EQUIPMENT COMPOUND.
<u>SITE ADDRESS:</u>	15 ROCKLEDGE ROAD NELSONVILLE, NY 10516
<u>PROPERTY OWNER:</u>	DOUGLAS W. LOGAN P.O. BOX 188 COLD SPRING, NY 10516
<u>TOWER OWNER/ APPLICANT:</u>	HOMELAND TOWERS, LLC 9 HARMONY STREET, 2ND FLOOR DANBURY, CT 06810
<u>ELECTRICAL CONTACT:</u>	CENTRAL HUDSON GAS & ELECTRIC CONTACT: CUSTOMER SERVICE PHONE: (800) 527-2714
<u>TELCO CONTACT:</u>	VERIZON (800) 843-2255
<u>LATITUDE:</u>	N41°25'20.32"
<u>LONGITUDE:</u>	W73°56'27.56"
<u>LAT/LONG TYPE:</u>	NORTH AMERICAN DATUM OF 1983 (NAD83)
<u>ELEVATION:</u>	±363.15'
<u>JURISDICTION:</u>	VILLAGE OF NELSONVILLE
<u>COUNTY:</u>	PUTNAM COUNTY
<u>TAX PARCEL:</u>	49.6-1-7
<u>LOT SIZE:</u>	9.63 ACRES
<u>ZONING DISTRICT:</u>	MR "MOUNTAIN RESIDENTIAL"
<u>CURRENT USE:</u>	UNDEVELOPED
<u>PROPOSED USE:</u>	COMMERCIAL COMMUNICATIONS TOWER WITH PERSONAL WIRELESS SERVICE FACILITIES

The map is a topographic representation of the Nelsonville area. It features contour lines indicating elevation, with labels such as 400, 500, 600, and 700 feet. Major roads are shown as solid lines, including Half Moon Rd, Airport Rd, Main St, Market St, Building Ave, and Temple Ave. Several cemeteries are marked with small icons and labels: Nelsonville Cemetery, Cold Spring Cemetery, and Did Gold Spring Cemetery. Natural features include Foundry Creek and Dutch Run. A callout box with the word 'SITE' in a large, bold, sans-serif font points to a specific location on Airport Rd, just north of the intersection with Building Ave. The map also shows various other landmarks and infrastructure, such as a school (marked with a building icon) and a park (marked with a tree icon).

SCALE: 1" = 2,000'



SCALE: 1" = 250'



SCALE: 1" = 500'



ZONING LEGEND	
C	– COMMERCIAL
HR	– HILLSIDE RESIDENTIAL
MR	– MOUNTAIN RESIDENTIAL*

SITE PLANNER & CIVIL ENGINEER

**JMC PLANNING ENGINEERING
LANDSCAPE ARCHITECTURE
& LAND SURVEYING, PLLC**
120 BEDFORD ROAD
ARMONK, NY 10504
(914) 273-5225

APPLICANT:

HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810
(203) 297-6345

ATTORNEY:

SNYDER & SNYDER, LLP
94 WHITE PLAINS ROAD,
TARRYTOWN, NY 10591
(914) 333-0700

SURVEYOR:

BADEY & WATSON SURVEYING & ENGINEERING, PC
3063 ROUTE 9
COLD SPRING, NY 10516
(845) 265-9217

NEPA CONSULTANT:

CBRE TELECOM SERVICES, INC.
4 WEST RED OAK LANE
WHITE PLAINS, NY 10604
(914) 694-9600

ELECTRICAL ENGINEER:

OLA CONSULTING ENGINEERS
50 BROADWAY
HAWTHORNE, NY 10532
(914) 747-2800

JMC DRAWINGS:

CD-1	COVER SHEET
CD-2	OVERALL SITE PLAN
CD-3	TREE REMOVAL PLAN
CD-4	SITE LAYOUT AND LANDSCAPING PLAN
CD-5	SITE GRADING, UTILITIES, AND EROSION & SEDIMENT CONTROL PLAN
CD-6	ACCESS DRIVEWAY PROFILE
CD-7	CONSTRUCTION DETAILS
CD-8	CONSTRUCTION DETAILS
CD-9	CONSTRUCTION DETAILS
CD-10	ROCKLEDGE ROAD / EASEMENT IMPROVEMENT PLAN

OLA CONSULTING ENGINEERS DRAWINGS:

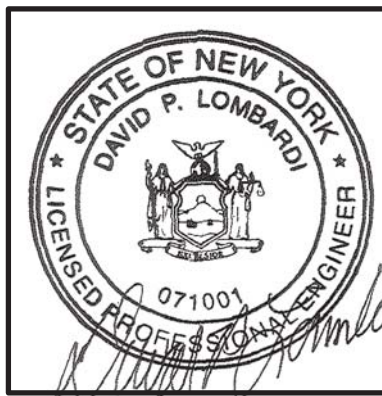
E1.1 ELECTRICAL SITE PLAN
E1.2 UTILITY DETAILS
E1.3 GROUNDING PLAN AND DETAILS

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFETY" (1-800-862-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY HIS OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCE AND IN ACCORDANCE WITH THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDO interruption OF UTILITY SERVICE.
2. UNDER LOCAL CODE 753, CONTRACTOR SHALL NOTIFY ALL OPERATORS OF UTILITIES LOCATED IN THE AREA WHERE THE WORK IS TO BE PERFORMED PRIOR TO THE START OF THIS WORK SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE ABLE TO LOCATE AND MARK THE LOCATIONS OF THEIR OWN UTILITIES. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED.
3. CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC.
4. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES, APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND THE APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS; IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMPSING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
6. PRIOR TO OBTAINING A BUILDING PERMIT TO ALLOW ITS CONSTRUCTION, DETAILED DESIGN CALCULATIONS MUST BE PROVIDED TO ILLUSTRATE COMPLIANCE WITH ANS I TIA/EIA "222-F AND ANS I TIA 222-G, "STRUCTURAL STANDARDS FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS" AND THE NYS BUILDING CODE, FOR REVIEW AND ACCEPTANCE BY THE VILLAGE.

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SITE NAME: NELSONVILLE	
SITE NUMBER: NY170	
TAX PARCELS: 49.6-1-7	

NO.	REVISION	DATE	BY	

DRAWING: PD **APPROVED:** JS

SCALE: AS SHOWN

DATE: 03/13/2020

PROJECT No: 16237


DWG: **TAB:** COVER **SCR:** 9_COVER

DRAWING No:

CD-1

Previous Editions Obsolete





STATE OF NEW YORK
DAVID P. LOMBARDI
LICENSED PROFESSIONAL ENGINEER
071001

PROJECT No. 16237

DRAWING: PD	APPROVER: JS
SCALE: 1" = 40'	
DATE: 03/13/2020	
PROJECT No. 16237	
DESIGN: TSP	SOUR: 1_OSP

DRAWING No. CD-2

Dig Safely.
New York

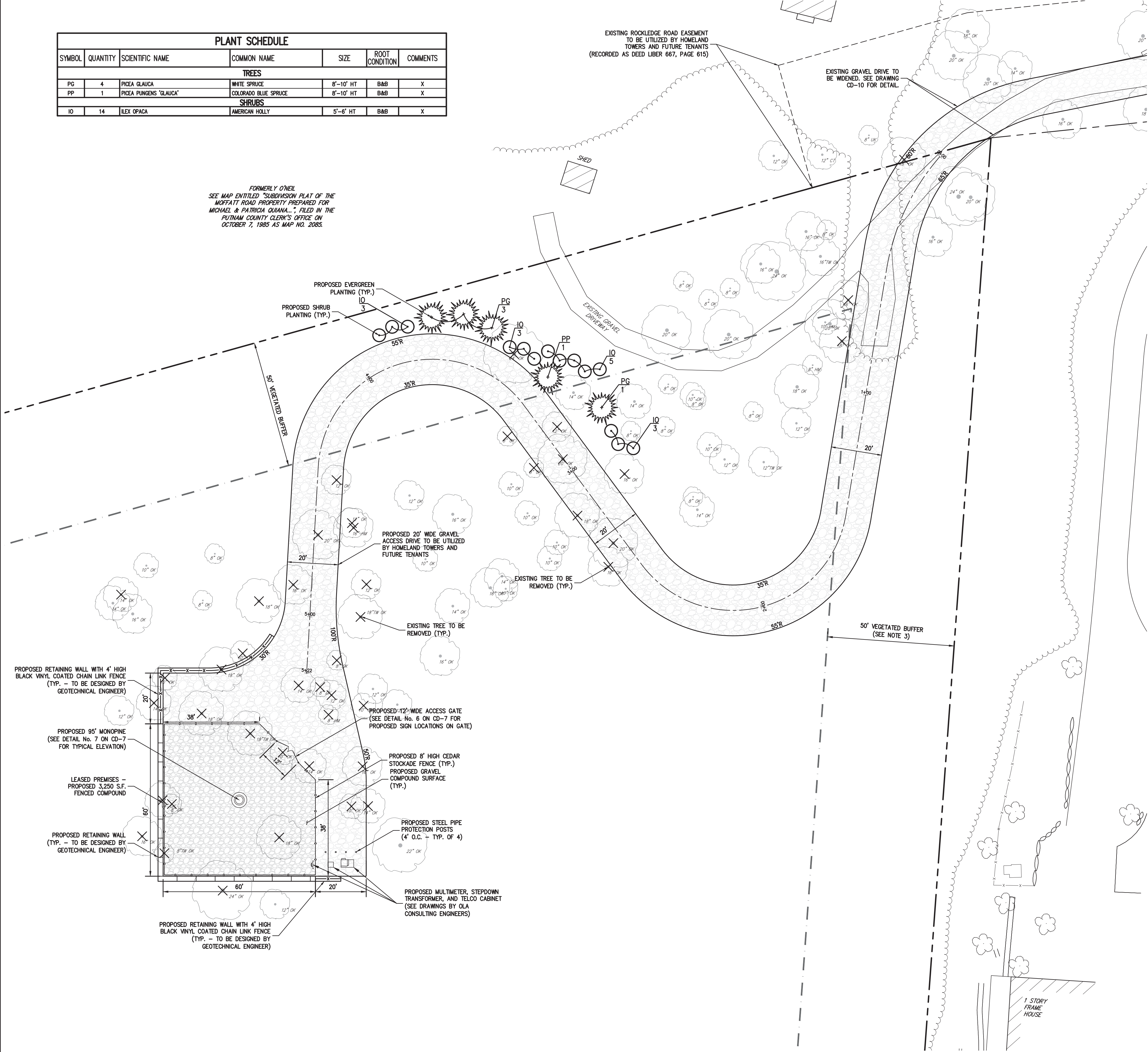
- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care

800-962-7962
www.digsafelynewyork.com

<h2 style="margin: 0;">TREE REMOVAL PLAN</h2>		
<h3 style="margin: 0;">HOMELAND TOWERS NELSONVILLE (NY170)</h3>		
15 ROCKLEDGE ROAD VILLAGE OF NELSONVILLE, NY		
		
DRAWN: PD	APPROVED: JS	
SCALE: 1" = 20'		
DATE: 03/13/2020		
PROJECT No: 16237		
JWC:	T&R: TRP	SGP: 2_TRP
DRAWING No:		
<h1 style="margin: 0;">CD-3</h1>		

PLANT SCHEDULE						
SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT CONDITION	COMMENTS
TREES						
PG	4	PIKEA GLAUCA	WHITE SPRUCE	8"-10" HT	B&B	X
PP	1	PIKEA PUMENS 'GLAUCA'	COLORADO BLUE SPRUCE	8"-10" HT	B&B	X
SHRUBS						
IO	14	ILEX OPACA	AMERICAN HOLLY	5"-6" HT	B&B	X

FORMERLY O'NEIL
SEE MAP ENTITLED "SUBDIVISION PLAT OF THE
MOFFATT ROAD PROPERTY PREPARED FOR
MICHAEL & PATRICIA O'NEIL," FILED IN THE
PUTNAM COUNTY CLERK'S OFFICE ON
OCTOBER 7, 1985 AS MAP NO. 2085.



LANDSCAPING NOTES:

- ALL PLANT MATERIAL SPECIFIED ON THE DRAWINGS SHALL BE FIRST QUALITY NURSERY GROWN STOCK, CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY, ALL OF WHICH SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY AMERICANHORTI (ANSI Z60.1), LATEST EDITION.
- ALL DISTURBED AREAS OF THE SITE NOT OCCUPIED BY GRAVEL, OR OTHER IMPERVIOUS SURFACE, AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER, SHALL BE LAWN.
- ALL MULCH TO BE PLACED IN PLANTING BEDS SHALL BE CLEAN, NON-DYED, TOXIC FREE, ORGANIC MATERIAL, CONSISTING OF SHREDDED HARDWOOD, ROOT MULCH SHREDDED CEDAR, OR BARK CHIPS, AS APPROVED BY THE OWNERS FIELD REPRESENTATIVE OR PROJECT LANDSCAPE ARCHITECT. THE PLACEMENT THICKNESS OF THE MULCH SHALL BE 3" AND/OR AS DIRECTED IN THE PLANTING DETAILS.
- PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
- ALL LANDSCAPE PLANTINGS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANT(S) AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING PLANTING SEASON.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
- ALL PLANT MATERIAL STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECTS EGGS, AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED.
- PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SOURCES OF ALL PLANT MATERIAL SHALL BE DISCLOSED TO PROJECT LANDSCAPE ARCHITECT AND OWNER PRIOR TO DELIVERY.
- ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, AS SPECIFIED IN THE PLANT LIST. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
- ALL LAWN AREAS (SOD OR SEED) SHALL RECEIVE A MINIMUM 6" THICK LAYER OF SCREENED TOPSOIL PRIOR TO INSTALLATION OF SOD OR SEED, UNLESS OTHERWISE SPECIFIED. TOPSOIL SHALL CONFORM TO THE PROJECT SPECIFICATIONS.
- SOIL WITHIN ALL PLANTING BEDS SHALL BE PREPARED AS DIRECTED IN THE PLANTING DETAILS AND PROJECT SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN GOOD HEALTH UNTIL THE PROJECT LANDSCAPE ARCHITECT HAS PROVIDED WRITTEN ACCEPTANCE THAT THE PLANTINGS ARE COMPLETE AND IN CONFORMANCE WITH THE PLANS. THE CONTRACTOR SHALL GUARANTEE THE SURVIVAL OF THE PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE PROJECT LANDSCAPE ARCHITECT, UNLESS OTHERWISE AGREED TO WITH THE OWNER.
- ALL AREAS DISTURBED OR DAMAGED DURING THE COURSE OF THE CONTRACTORS WORK SHALL BE REPAIRED OR RESTORED TO ORIGINAL OR CONSTRUCTED CONDITION AT NO ADDITIONAL COST TO OWNER.
- FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY PROJECT LANDSCAPE ARCHITECT. PROJECT LANDSCAPE ARCHITECT MAY ADJUST SPACING AND LOCATION IN FIELD PRIOR TO OR AFTER PLANTING.
- CONTRACTOR SHALL IMMEDIATELY REPORT ANY UNSATISFACTORY SITE CONDITIONS TO THE OWNER IN WRITING. CONTRACTOR SHALL RECEIVE NO ADDITIONAL PAYMENT FOR ADDITIONAL WORK ASSOCIATED WITH THE UNSATISFACTORY CONDITIONS IF NOT PROPERLY REPORTED AND WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER.
- ALL TREE AND SHRUB PLANTINGS INSTALLED ADJACENT TO THE ACCESS DRIVEWAY SHALL BE SETBACK A MINIMUM OF 24" FROM EDGE OF THE PLANT TO EDGE OF THE ACCESS DRIVEWAY.

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING BUILDING LINE
	PROPOSED GRAVEL COMPOUND SURFACE
	PROPOSED GRAVEL ACCESS DRIVE SURFACE
	PROPOSED CABLE BRIDGE
	PROPOSED CEDAR STOCKADE FENCE
	PROPOSED RETAINING WALL WITH 4' HIGH VINYL COATED CHAIN LINK FENCE
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED STEEL PROTECTION POST
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	PROPOSED EVERGREEN PLANTING
	PROPOSED SHRUB PLANTING

NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, PC, DATED 03/21/2017.
- FINAL UNDERGROUND ELECTRIC AND TELECOMMUNICATIONS SERVICE ROUTING TO BE DETERMINED AFTER CONSULTING WITH PROVIDER.
- ANY LIGHTING REQUIRED BY TENANT/CARRIER EQUIPMENT SPECIFICATIONS SHALL CONFORM TO VILLAGE CODE REQUIREMENTS, BE CONTROLLED BY A MANUAL TIMER, AND FACE DOWNWARD SO AS TO NOT SPILL ONTO ADJACENT PROPERTIES.

1'-6"

11"

1'-0"

1'-6"

CARRIER

Emergency Contact Information

Cell Site #

To Report An Emergency,
Specify the Cell Site Number above and Call
The Network Operations Control Center at:

This Communication Facility is Protected And Licensed
By The FCC, KNA201.

No Solicitation
No Trespassing
Violators Will Be Prosecuted To The Full Extent Of The Law.

(WHITE METAL SIGN WITH BLACK LETTERING)

NOTICE

RF Controlled Area Beyond This Point

Radio frequency (RF) emissions may exceed FCC
Standards for general public exposure. Only authorized
workers permitted to enter.

For more details:
• Obey all posted signs.
• Maintain minimum distance of 7 feet from all antennas.
• Do not stop in front of antennas.
For further information, please call 1-888-583-8835 and reference
Site Number: 001300000004.
© To coordinate with FCC rules on radio frequency emissions 47 CFR 1.1303(a). ©

(WHITE METAL SIGN WITH BLACK LETTERING)

SIGN 'B'

1'-3"

10"

1'-3"

10"

HOMELAND TOWERS

HOMELAND TOWERS, LLC
IN CASE OF EMERGENCY
CALL (914) 490-0124

(WHITE SIGN W/BLACK AND WHITE LOGO AND RED LETTERING)

SIGN 'C'

NOTES:

- SEE DETAIL No. 6 ON DRAWING CD-7 FOR SIGN POSITIONING ON GATE.

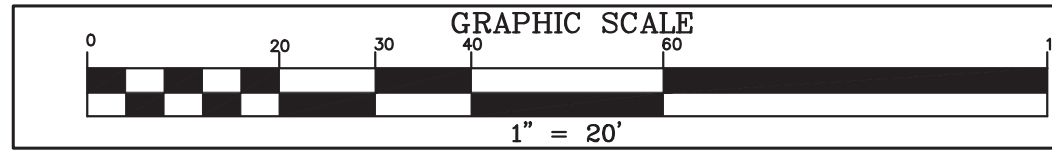
ANY ALTERATION OF PLANS,
SPECIFICATIONS, PLATS AND
REPORTS BEARING THE SEAL
OF A LICENSED PROFESSIONAL
ENGINEER OR LICENSED LAND
SURVEYOR IS A VIOLATION OF
SECTION 7209 OF THE NEW
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SECTION 7209, SUBSECTION 2.



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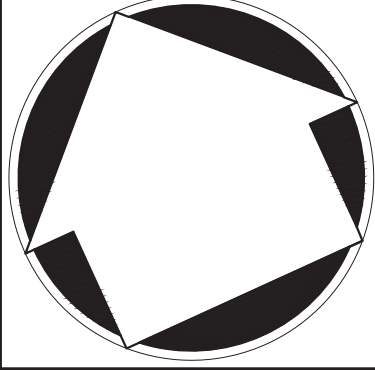
SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

NO.	REVISION	DATE	BY	APPROVED
1		03/13/2020		JS
Previous Editions Obsolete				

DATE	03/13/2020
PROJECT NO.	16237
DWG.	16237-SITE
TAB	LAYOUT
SOP.	2_LAYOUT
DRAWING NO.	CD-4

JMC Planning, Engineering, Landscape
Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
Join Meyer Consulting, Inc.
120 BEDFORD ROAD - ARMONK, NY 10504
voice 914.273.5225 • fax 914.273.2102
www.jmcplc.com

JMC



**SITE LAYOUT AND
LANDSCAPING PLAN**

**HOMELAND TOWERS
NELSONVILLE (NY170)**
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY





GRAPHIC SCALE

$1" = 20'$

NO.	REVISION	DATE	BY
	Previous Editions Obsolete		

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SITE GRADING, UTILITIES, AND EROSION & SEDIMENT CONTROL PLAN

NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

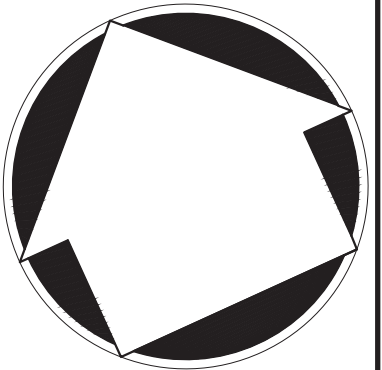


HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810

**JMC Planning, Engineering, Landscape
Architecture & Land Surveying, PLLC**
JMC Site Development Consultants, LLC

John Meyer Consulting, Inc.

220 BEDFORD ROAD • ARMONK, NY 10504
voice 914.273.5225 • fax 914.273.2102
www.jmcpllc.com







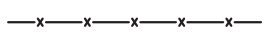













SITE GRADING, UTILITIES, AND EROSION & SEDIMENT CONTROL PLAN

NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

STATE OF NEW YORK
DAVID P. LOMBARDI
071001
PROFESSIONAL ENGINEER

CD-5

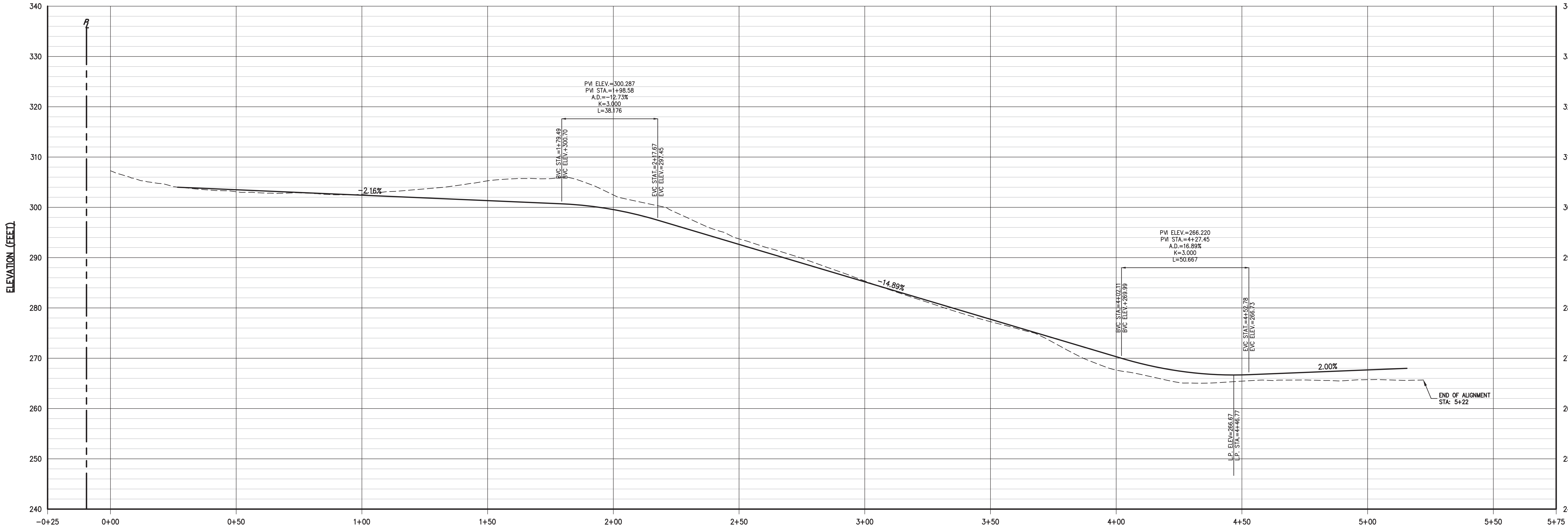
LEGEND	
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	PROPOSED CABLE BRIDGE
	PROPOSED ACCESS DRIVE
	PROPOSED FENCE
	PROPOSED UNDERGROUND ELECTRIC & TELECO SERVICE
	PROPOSED FINISHED GRADE
	PROPOSED SPOT GRADE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED INLET PROTECTION
	PROPOSED SILT FENCE
	PROPOSED SWALE LINE
	PROPOSED STONE CHECK DAM
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED STEEL PROTECTION POST
	PROPOSED DRAIN INLET
	PROPOSED STORM PIPE

NOTES:

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAINING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, PC, DATED 03/21/2017.
2. SUPPLEMENTAL EXISTING CONDITIONS HAVE BEEN TAKEN FROM PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS. THIS INFORMATION SHOULD BE CONSIDERED APPROXIMATE AND USED FOR PLANNING PURPOSES ONLY.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL THE PROVISIONS OF THE PERMANENT RYE GRASS, GRUBBING OR EXCAVATION.
4. EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDDED WITH THE FOLLOWING GRASS MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION AT A RATE OF 6 POUNDS PER 1000 S.F. IN THE FOLLOWING PROPORTIONS:

PERENNIAL RYE GRASS	70 %
CRACKING REED FESCUE	30 %
5. GRASS SEED MIX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERY STOCK, THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
6. ALL DISTURBED AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE (80 LBS. PER 1,000 S.F.) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
7. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY TO MAINTAIN THE EFFECTIVENESS OF THE SEDIMENT BARRIERS. ALL SEDIMENT COLLECTED SHALL BE RESPIRED ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNERS FIELD REPRESENTATIVE.
8. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE VILLAGE ENGINEER.
9. CUT AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER INTO THE PROPERTY OF OTHERS.
10. ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
11. THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
12. AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
13. FINAL UNDERGROUND ELECTRIC AND TELECOMMUNICATIONS SERVICE ROUTING TO BE DETERMINED AFTER CONSULT WITH PROVIDER.
14. UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2648. JOINTS SHALL BE WATERTIGHT IN ACCORDANCE WITH ASTM D-3212.
15. ELECTRIC / TELECOMMUNICATION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
16. SUBJECT TO THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEERING REPORT, THE APPLICANT RESERVES THE RIGHT TO CONDUCT ANY EXISTING OR FUTURE TESTING, IF REQUIRED. IF NECESSARY, BLASTING OPERATIONS WILL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES. ALL SPOILS WILL BE TEMPORARILY STOCKPILED IN THE AREA INDICATED ON THIS PLAN.
17. THE FINAL ELECTRICAL DESIGN WILL BE PREPARED BY A LICENSED ELECTRICAL ENGINEER AND PROVIDED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

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STATION (FEET)
SCALE: 1" = 20' HORIZ. 1" = 10' VERT.

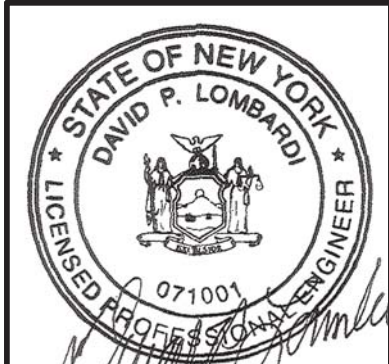
ACCESS DRIVE PROFILE

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SITE NAME: NELSONVILLE SITE NUMBER: NY170 TAX PARCEL: 49.6-1-7	

NO.	REVISION	DATE	BY

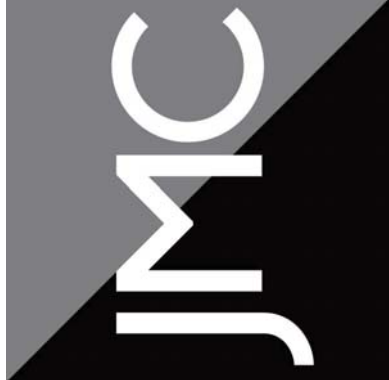
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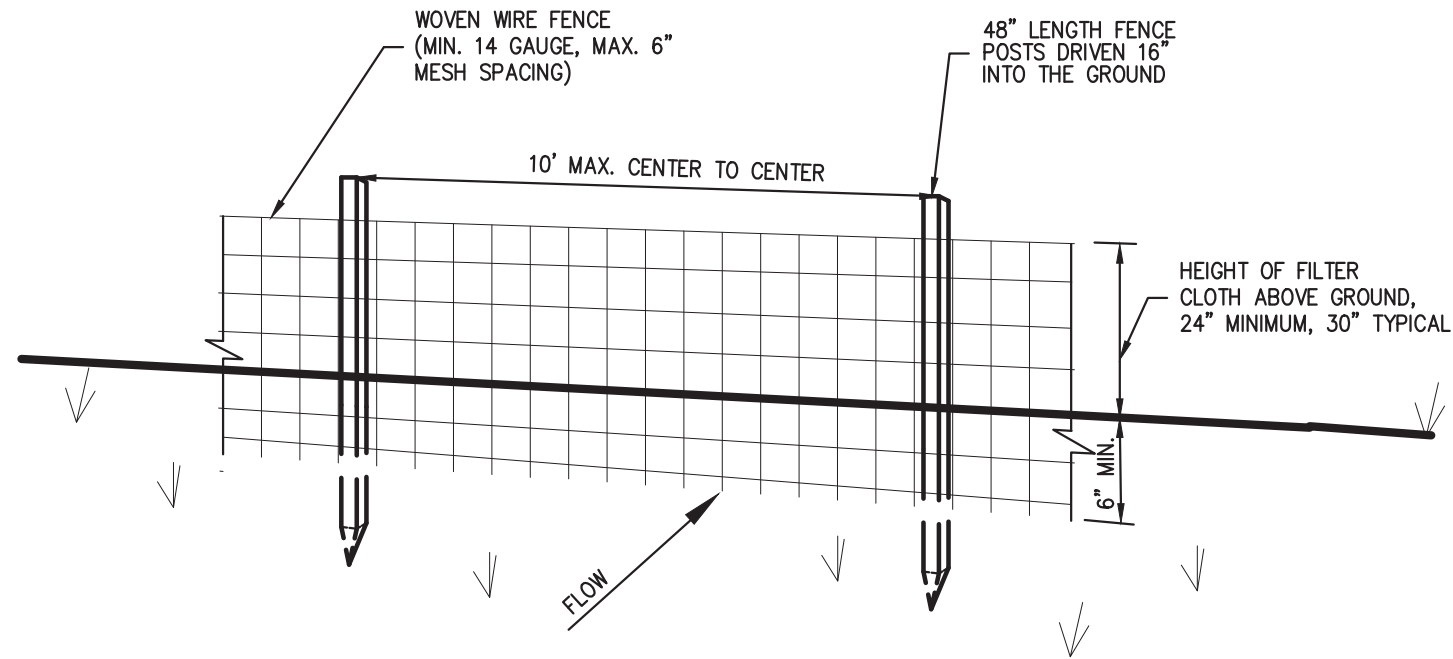
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SCALE: AS SHOWN	DATE: 03/13/2020
PROJECT NO: 16237	DWG: 16237-SITE
TAB: PROFILE	SOP: 3, GRAD-UTIL-SE
DRAWING NO: CD-6	

ACCESS DRIVE PROFILE
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

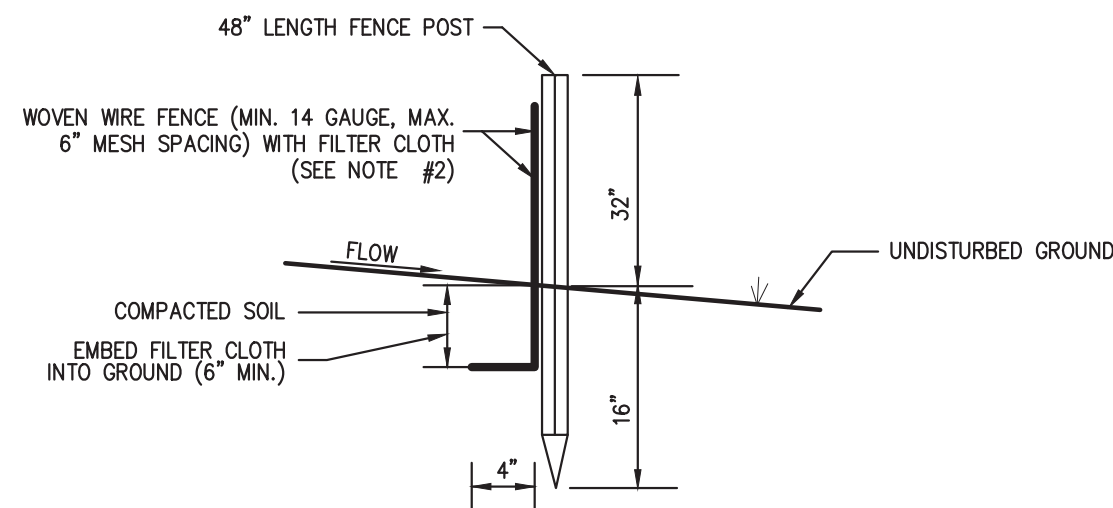


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HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
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PERSPECTIVE VIEW

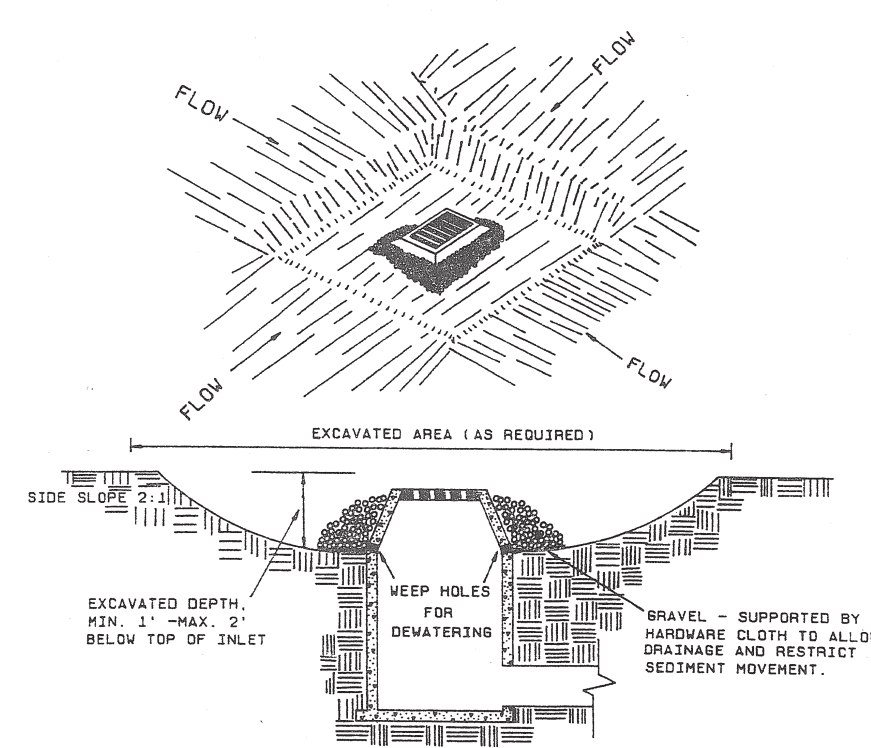


SECTION

- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED; FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABULINKA T100N, OR APPROVED EQUAL.
 - PREFABRICATED UNITS SHALL BE GEOFAB, ENVROFENCE, OR APPROVED EQUAL.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE

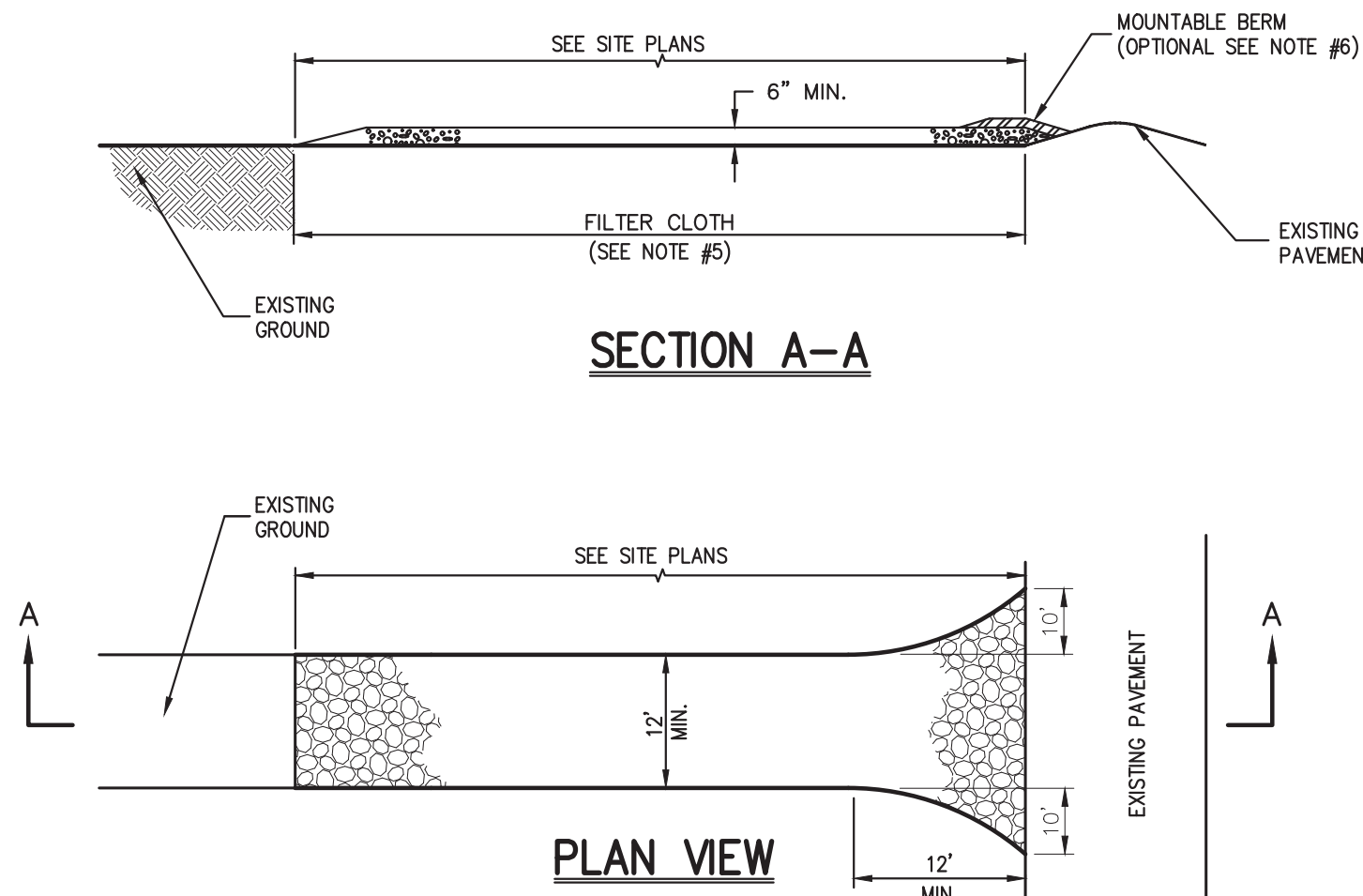
1



- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
- WEEP HOLES SHALL BE PROTECTED BY/STONE.
- PROVIDE FREQUENT INSPECTION AND MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AND REPAIR OR REPLACE INLET PROTECTION TO MAINTAIN EFFECTIVENESS OF THE INSTALLATION.
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES FILL BASIN WITH STABLE SOIL TO FINAL GRADE. COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.

EXCAVATED DROP INLET PROTECTION

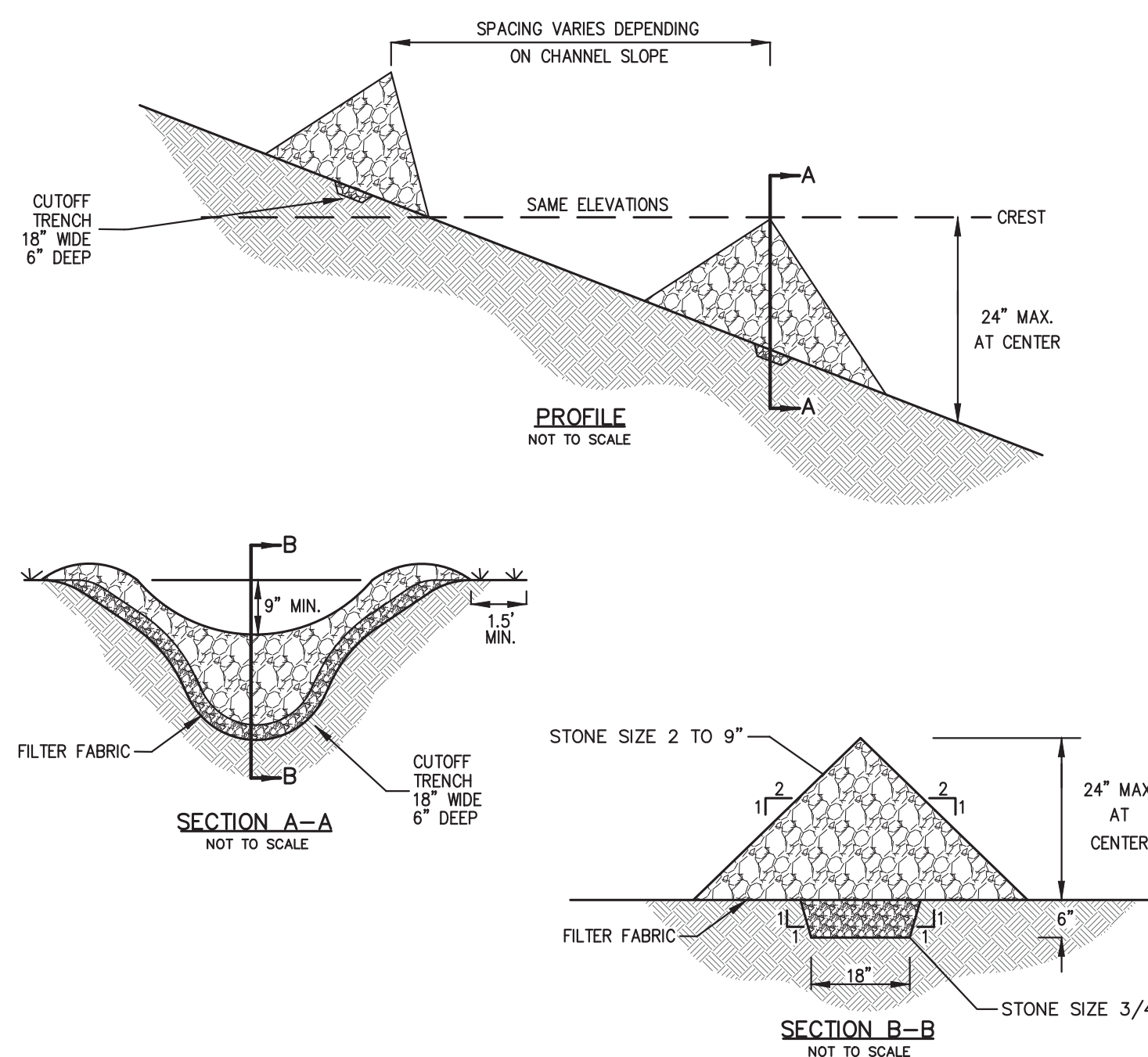
2



- NOTES**
- STONE SIZE - USE 1" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ACCESS

3



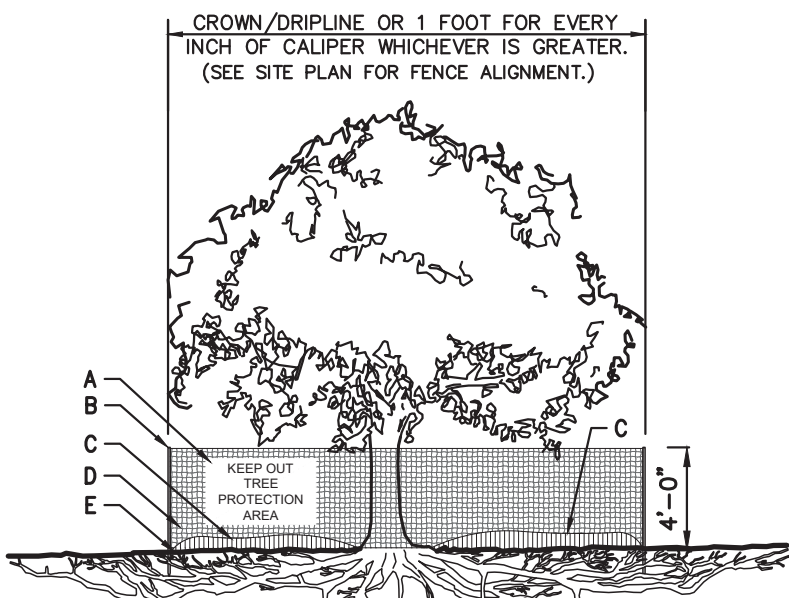
CONSTRUCTION SPECIFICATIONS:

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANK TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

MAXIMUM DRAINAGE AREA 2 ACRES.

STONE CHECK DAM

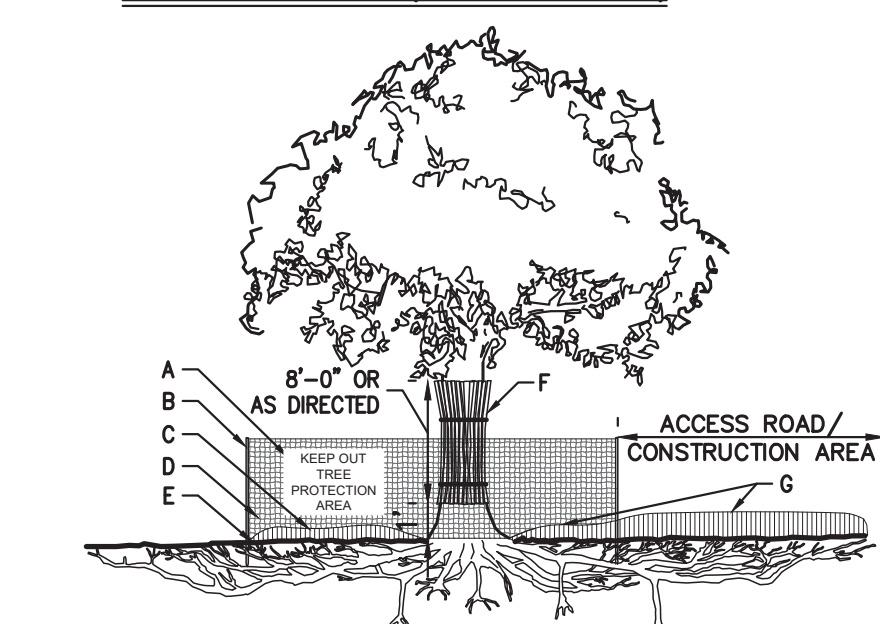
4



TREE PROTECTION (DRIPLINE FENCE)

A	8.5"x11" SIGN LAMINATED IN PLASTIC SPACED EVERY 50' ALONG FENCE.
B	2"x8" STEEL POSTS OR APPROVED EQUAL.
C	5" THICK LAYER OF MULCH.
D	TREE PROTECTION FENCE: HIGH DENSITY POLYETHYLENE FENCING WITH 3.5" X 1.5" OPENINGS; COLOR ORANGE. STEEL POSTS INSTALLED AT 8' O.C.
E	MAINTAIN EXISTING GRADE WITHIN THE TREE PROTECTION FENCE UNLESS OTHERWISE INDICATED ON THE PLANS.
F	INSTALL ROUGH SAWN WOOD WHERE AND AS DIRECTED BY PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SEE CHART FOR WOOD SIZE BOUND WITH 9 GAUGE WIRE.
G	8"-12" THICK LAYER OF MULCH ON MAINTENANCE ROAD. 5" THICK LAYER INSIDE TREE PROTECTION AREA.

TREE DIAMETER	ROUGH SAWN WOOD SIZE
<12"	2"x2"
13"-24"	2"x4"
>25"	2"x6"

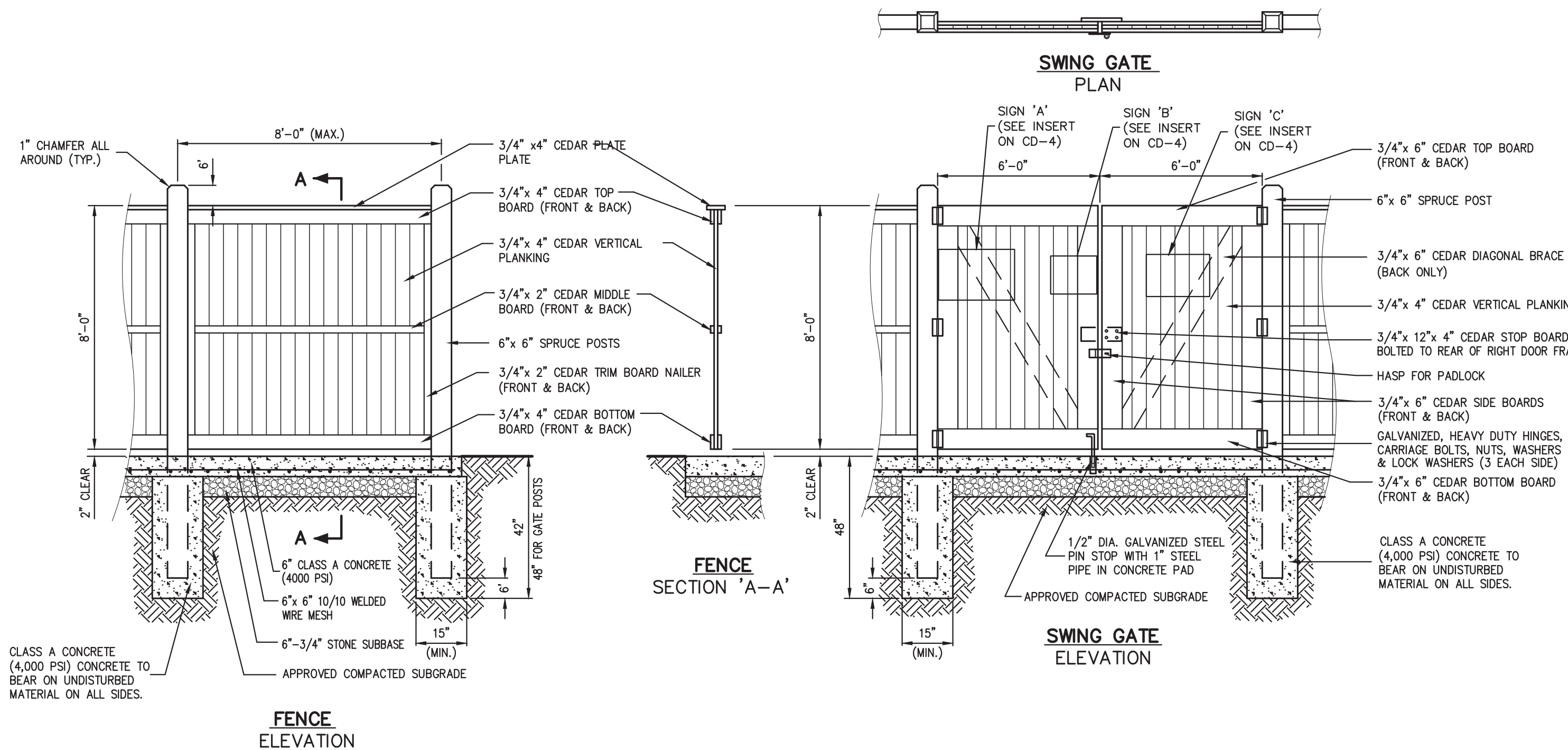


TREE PROTECTION W/ ACCESS ROAD/CONSTRUCTION AREA (DRIPLINE FENCE)

- NOTES:**
- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 - IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
 - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - SEE SITE PLANS FOR IDENTIFICATIONS/LOCATIONS OF INDIVIDUAL TREES TO BE PROTECTED.
 - ALL EXCAVATION WITHIN THE CROWN/DRIPLINE OF ANY TREE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SPECIAL MEASURES, SUCH AS THE USE OF AN AIR SPADE MAY BE REQUIRED.
 - THE CONTRACTOR MAY PROPOSE THE USE OF ENGINEERED MATTING OR OTHER ENGINEERED PRODUCTS IN LIEU OF MULCH, WHICH SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION.

TREE PROTECTION

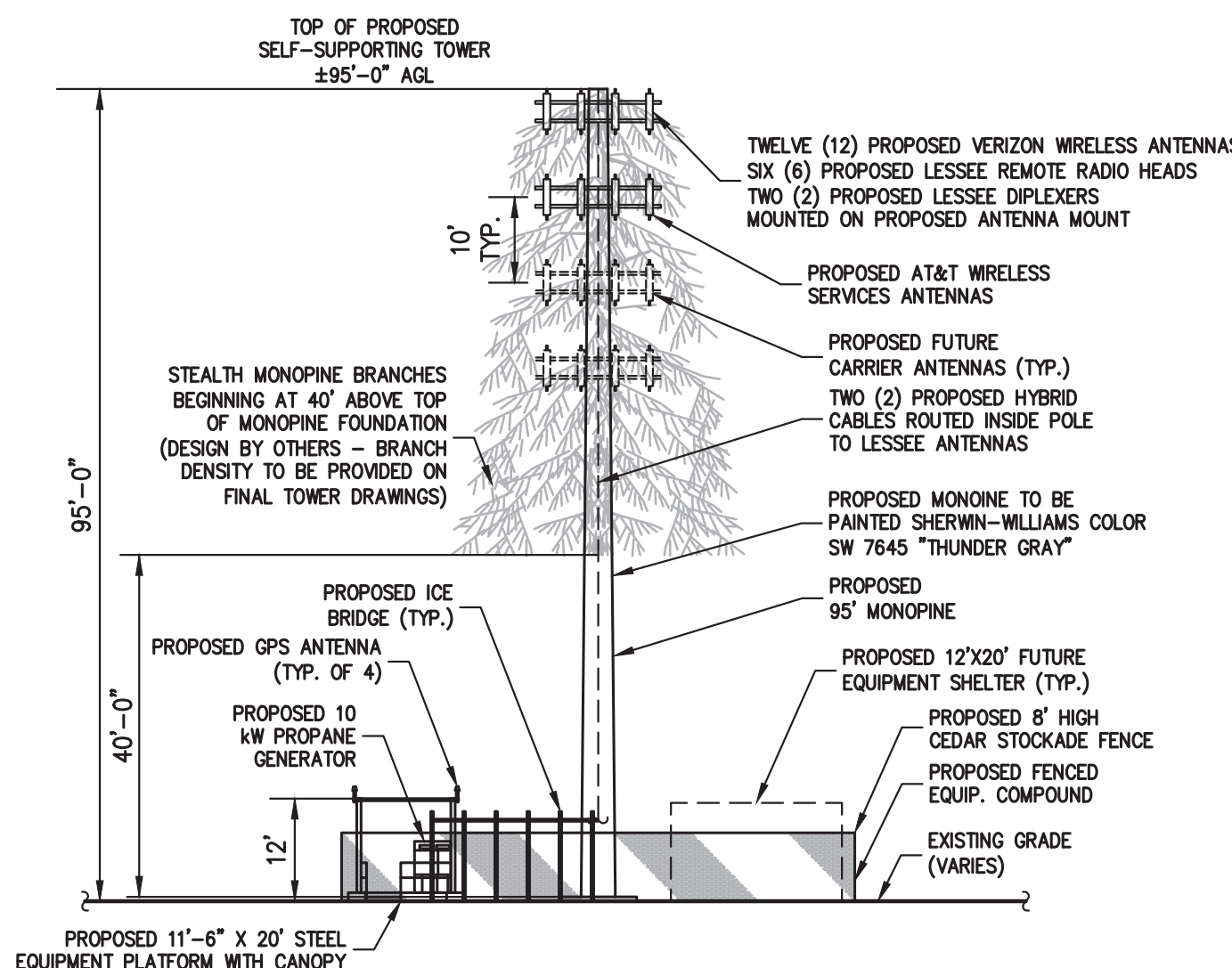
5



- NOTES:**
- METAL FLANGES, CLEATS, BOLTS, SCREWS, ETC. SHALL BE STAINLESS STEEL OR GALVANIZED STEEL.
 - ALL LUMBER TO BE PRESSURE TREATED WITH WOOD PRESERVATIVE FOR IN GROUND USE. ALL LUMBER TO BE #1 GRADE.
 - SEE SITE LAYOUT AND LANDSCAPING PLAN FOR LOCATION.
 - FENCE POSTS SHALL BE SPACED NOT MORE THAN 8' ON CENTER.

CEDAR STOCKADE FENCE WITH ACCESS GATE

6



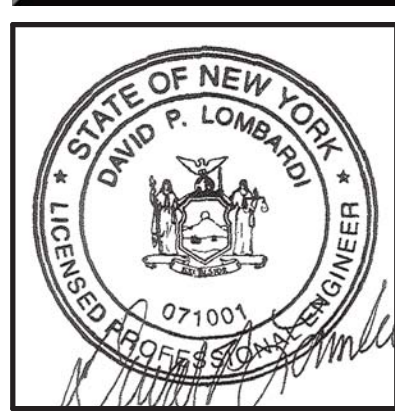
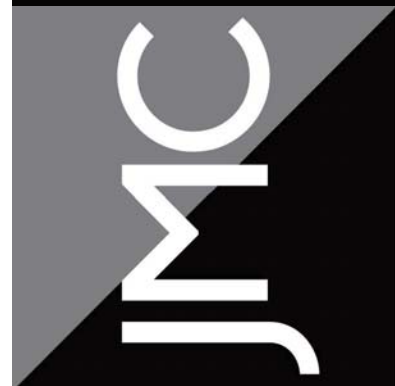
ANTENNA ELEVATION

SCALE: 1" = 20'

7

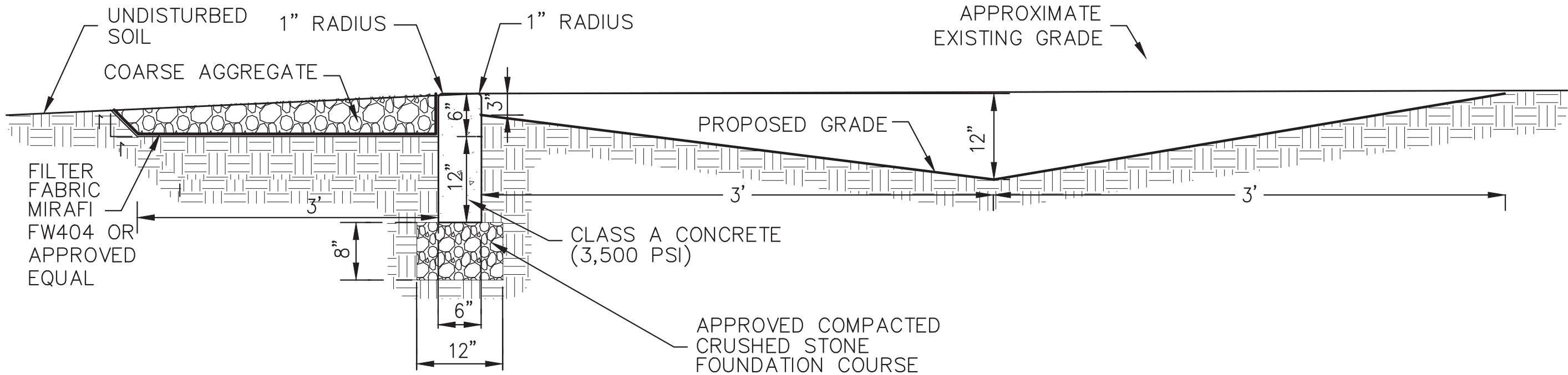
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CONSTRUCTION DETAILS
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

DRAWN	PD	APPROVED	JS
SCALE	N.T.S.	DATE	03/13/2020
PROJECT NO.	16237	DWG.	16237-DTALS
TAB	20-6	LS	---
DRAWING NO.	CD-7		

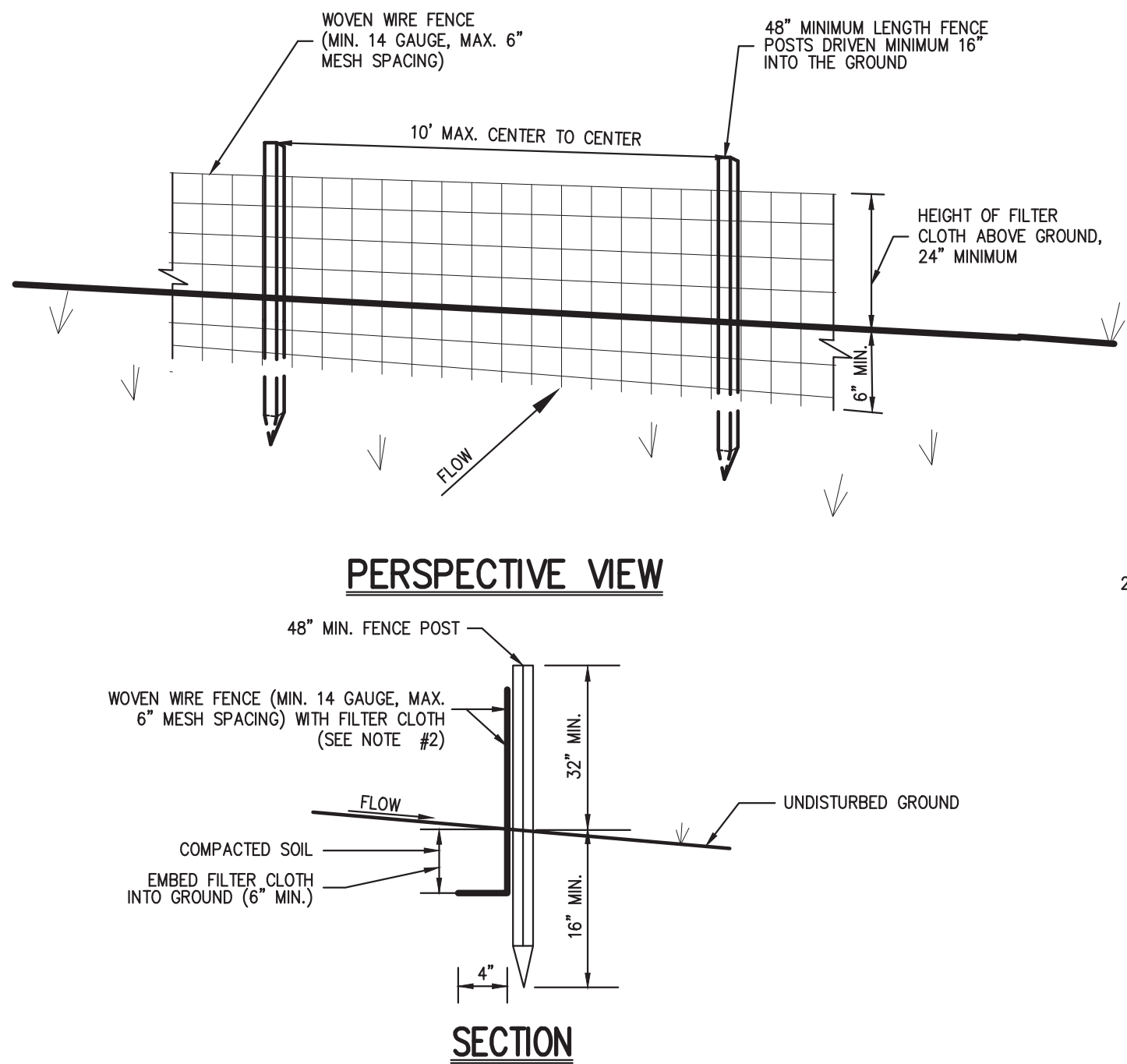


NOTES:

1. ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO AND FOLLOWING INSTALLATION OF PLANTS.
2. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
3. PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.
4. SEE TREE STAKING DETAIL IF STAKING IS REQUIRED.

16

CONCRETE LEVEL SPREADER

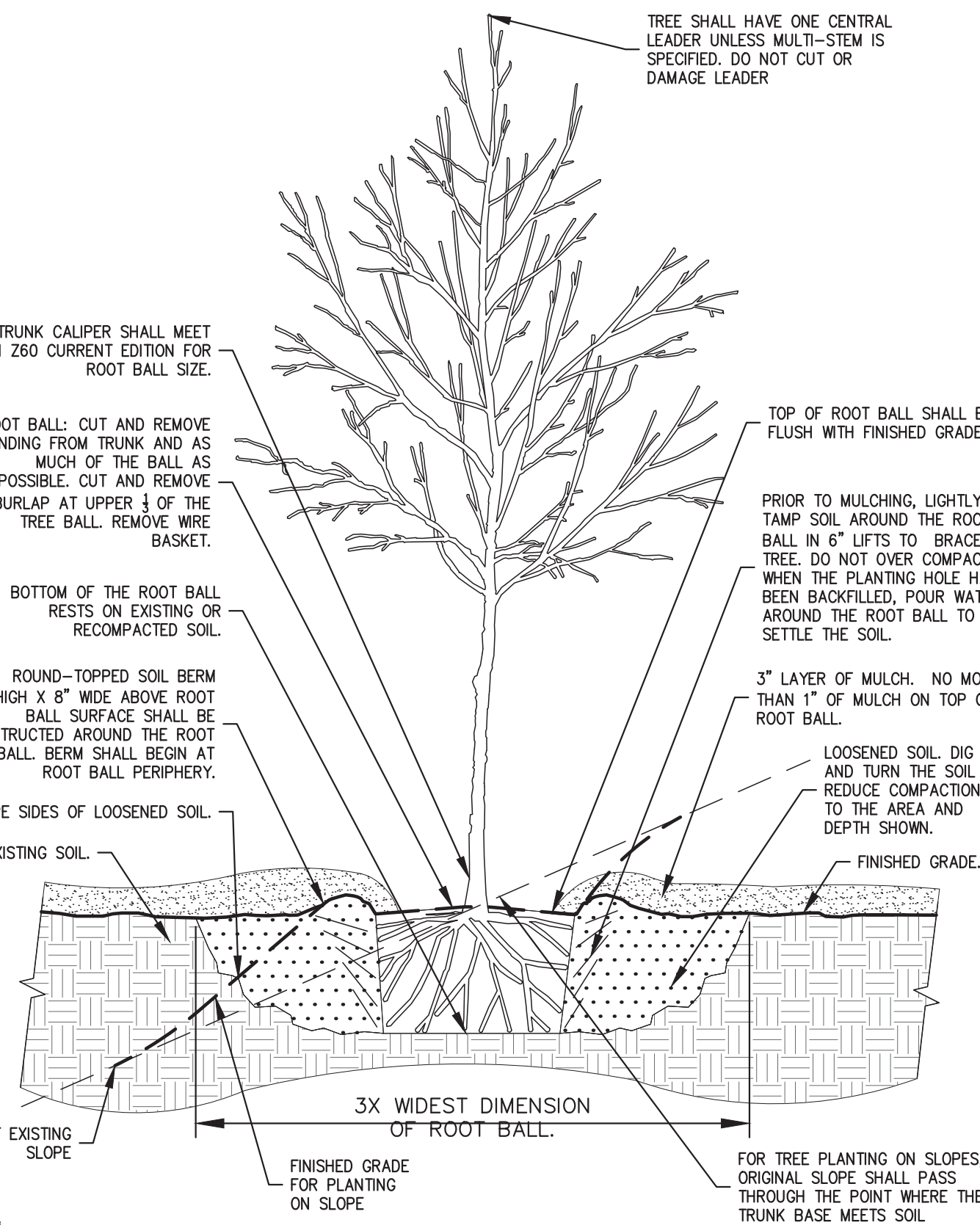


NOTES:

1. WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
2. FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

19

TEMPORARY MATERIALS STOCKPILE AREA

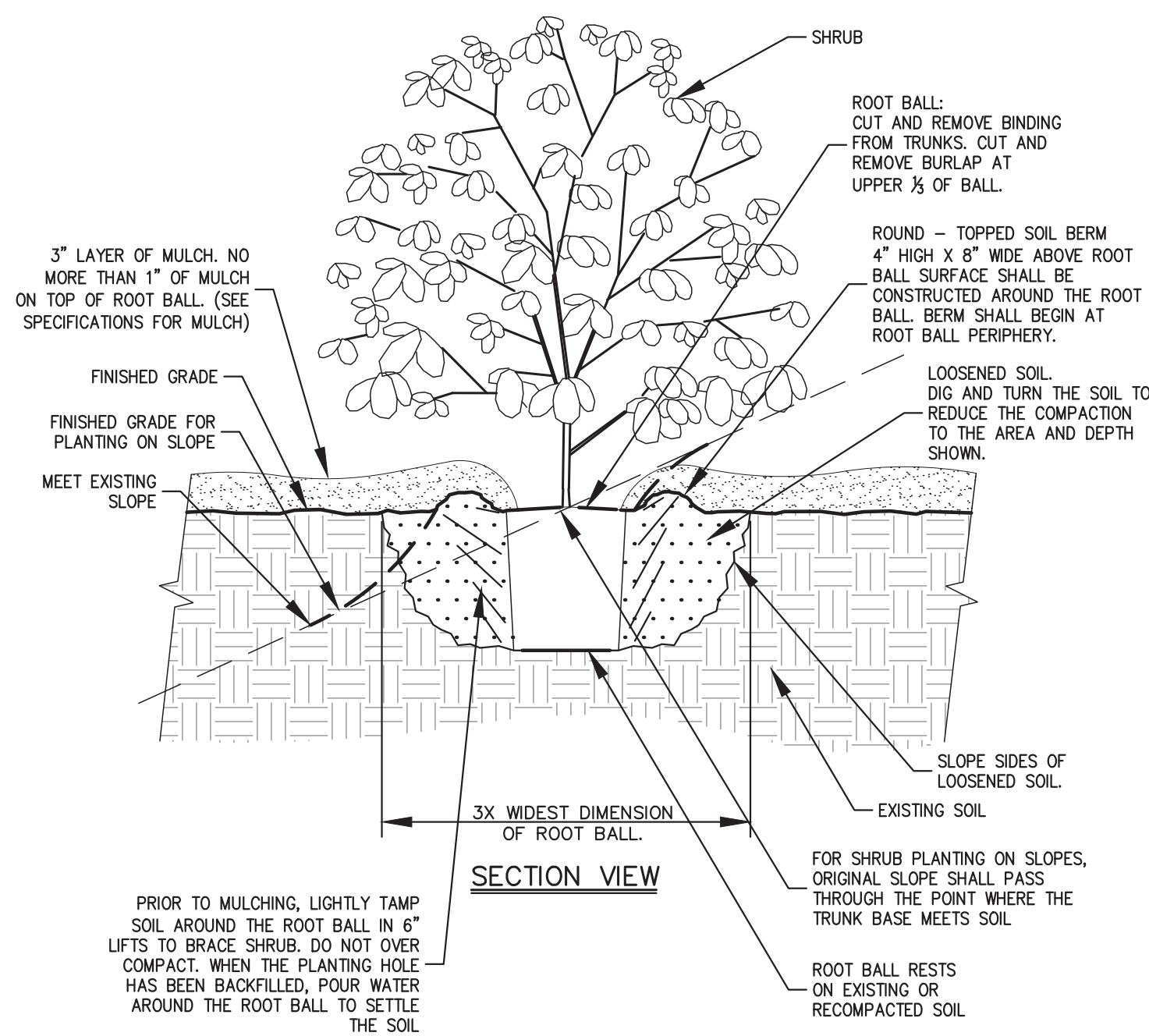


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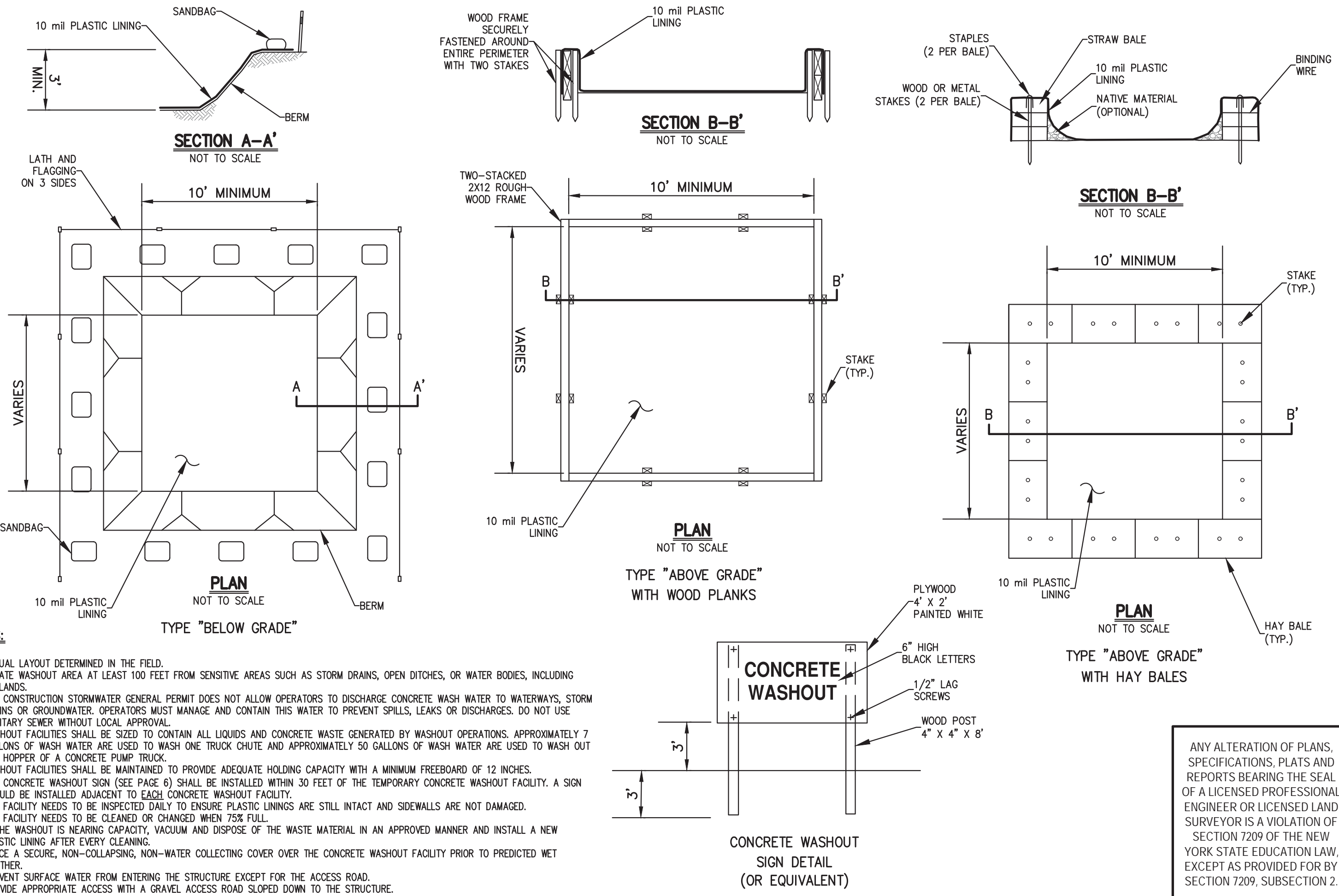
17

TREE PLANTING



18

SHRUB PLANTING



NOTES:

1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. LOCATE WASHOUT AREA AT LEAST 100 FEET FROM SENSITIVE AREAS SUCH AS STORM DRAINS, OPEN DITCHES, OR WATER BODIES, INCLUDING WETLANDS.
3. THE CONSTRUCTION STORMWATER GENERAL PERMIT DOES NOT ALLOW OPERATORS TO DISCHARGE CONCRETE WASH WATER TO WATERWAYS, STORM DRAINS OR GROUNDWATER. OPERATORS MUST MANAGE AND CONTAIN THIS WATER TO PREVENT SPILLS, LEAKS OR DISCHARGES. DO NOT USE SANITARY SEWER WITHOUT LOCAL APPROVAL.
4. WASHOUT FACILITIES SHALL BE SIZED TO CONTAIN ALL LIQUIDS AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. APPROXIMATELY 7 GALLONS OF WASH WATER ARE USED TO WASH ONE TRUCK CHUTE AND APPROXIMATELY 50 GALLONS OF WASH WATER ARE USED TO WASH OUT THE HOPPER OF A CONCRETE PUMP TRUCK.
5. WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 12 INCHES.
6. THE CONCRETE WASHOUT SIGN (SEE PAGE 6) SHALL BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH CONCRETE WASHOUT FACILITY.
7. THE FACILITY NEEDS TO BE INSPECTED DAILY TO ENSURE PLASTIC LININGS ARE STILL INTACT AND SIDEWALLS ARE NOT DAMAGED.
8. THE FACILITY NEEDS TO BE CLEANED OR CHANGED WHEN 75% FULL.
9. IF THE WASHOUT IS NEARING CAPACITY, VACUUM AND DISPOSE OF THE WASTE MATERIAL IN AN APPROVED MANNER AND INSTALL A NEW PLASTIC LINING AFTER EVERY CLEANING.
10. PLACE A SECURE, NON-COLLAPSING, NON-WATER COLLECTING COVER OVER THE CONCRETE WASHOUT FACILITY PRIOR TO PREDICTED MET WEATHER.
12. PREVENT SURFACE WATER FROM ENTERING THE STRUCTURE EXCEPT FOR THE ACCESS ROAD.
13. PROVIDE APPROPRIATE ACCESS WITH A GRAVEL ACCESS ROAD SLOPED DOWN TO THE STRUCTURE.
14. SIGNS SHALL BE PLACED TO DIRECT DRIVERS TO THE FACILITY AFTER THEIR LOAD IS DISCHARGED.

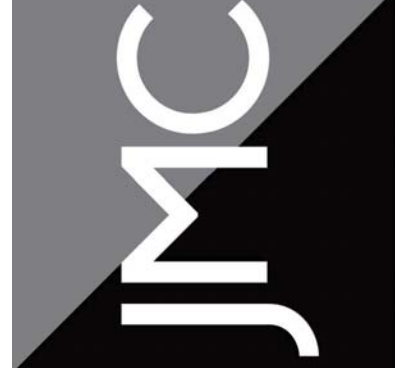
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20

CONCRETE WASHOUT

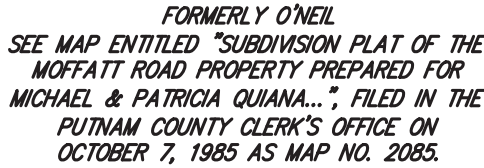
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DATE	
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CONSTRUCTION DETAILS
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

DRAWN	PD	APPROVED	JS
SCALE	N.T.S.		
DATE	03/13/2020		
PROJECT NO.	16237		
DWG. 16237-DETAILS	TAB	20-8	LS
DRAWING NO.	CD-9		



FORMERLY CHAMPLIN
N/F CHAMPLIN FAMILY TRUST
LIBER 1850 CP 206

FORMERLY MULVEHILL
N/F OLSHAKOSKI
LIBER 733 CP 731

NOTES:

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, PC, DATED 03/21/2017.

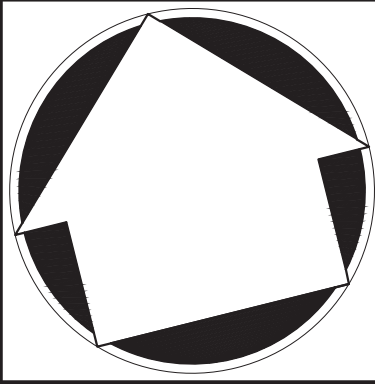
ID NUMBER	ABBREVIATION	SPECIES	SIZE	HEALTH CONDITION
1	OK	OAK	18"	GOOD
2	OK	OAK	20"	GOOD
3	OK	OAK	24"	GOOD
4	OK	OAK	8"	GOOD
5	LO	LOCUST	8"	GOOD

APPLICANT:

**JMC Planning, Engineering, Landscape
Architecture & Land Surveying, PLLC**
JMC Site Development Consultants, LLC

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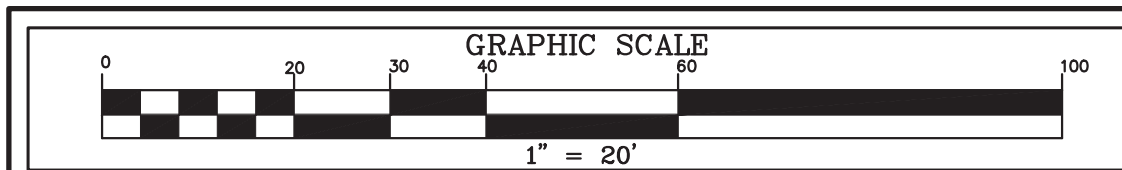


ROCKLEDGE ROAD / EASEMENT
IMPROVEMENT PLAN

HOMELAND TOWNS
NELSONVILLE (N'Y170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY



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SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

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CD-10