

PROJECT INFORMATION:

PROPOSED WORK:	PROPOSED UNMANNED COMMERCIAL COMMUNICATIONS TOWER WITH PERSONAL WIRELESS SERVICE FACILITIES INCLUDING THE INSTALLATION OF A 95' MONOPINE WITH ANTENNAS AND ASSOCIATED EQUIPMENT WITHIN A PROPOSED FENCED MULTI-CARRIER WIRELESS EQUIPMENT COMPOUND.
SITE ADDRESS:	15 ROCKLEDGE ROAD NELSONVILLE, NY 10516
PROPERTY OWNER:	HOMELAND TOWERS, LLC 9 HARMONY STREET, 2ND FLOOR DANBURY, CT 06810
TOWER OWNER/ APPLICANT:	HOMELAND TOWERS, LLC 9 HARMONY STREET, 2ND FLOOR DANBURY, CT 06810
ELECTRICAL CONTACT:	CENTRAL HUDSON GAS & ELECTRIC CONTACT: CUSTOMER SERVICE PHONE: (800) 527-2714
TELCO CONTACT:	VERIZON (800) 843-2255
LATITUDE:	N41°25'20.32"
LONGITUDE:	W73°56'27.56"
LAT/LONG TYPE:	NORTH AMERICAN DATUM OF 1983 (NAD83)
ELEVATION:	±363.15'
JURISDICTION:	VILLAGE OF NELSONVILLE
COUNTY:	PUTNAM COUNTY
TAX PARCEL:	49.6-1-7
LOT SIZE:	9.63 ACRES
ZONING DISTRICT:	MR "MOUNTAIN RESIDENTIAL"
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL COMMUNICATIONS TOWER WITH PERSONAL WIRELESS SERVICE FACILITIES

CONSTRUCTION DRAWINGS
SITE NUMBER: NY170
SITE NAME: NELSONVILLE
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE
PUTNAM COUNTY, NY

TABLE OF LAND USE			
SECTION 49.6, BLOCK 1, LOT 7 ZONE MR, "MOUNTAIN RESIDENTIAL"			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (SQUARE FEET)	80,000	419,657	419,657
MINIMUM LOT FRONTAGE (FEET)	175	0 ⁽¹⁾	0 ⁽¹⁾
MINIMUM LOT DIMENSION (FEET)	150	211.4	211.4
STREET LINE BUILDING SETBACK (FEET)	60	N/A	N/A
PROPERLY LINE BUILDING SETBACK (FEET)	25	N/A	N/A
MAXIMUM BUILDING HEIGHT (STORIES/FEET)	2.5 / 35	N/A	N/A
BUILDING COVERAGE (PERCENT)	10	N/A	N/A
COMMUNICATIONS TOWERS SUPPLEMENTARY REGULATIONS			
HABITABLE STRUCTURE SETBACK ⁽²⁾ (FEET)	300	N/A	±308.9
FRONT YARD TOWER SETBACK ⁽³⁾ (FEET)	150	N/A	±168.8
SIDE YARD TOWER SETBACK ⁽⁴⁾ (FEET)	118.75	N/A	±239.2
MAXIMUM TOWER HEIGHT ⁽⁵⁾ (FEET)	110	N/A	95
MINIMUM TOWER SEPARATION ⁽⁶⁾ (FEET)	500	N/A	>500
SIDE YARD ACCESSORY STRUCTURE SETBACK ⁽⁷⁾ (FEET)	100	N/A	±178.7
REAR YARD ACCESSORY STRUCTURE SETBACK ⁽⁷⁾ (FEET)	100	N/A	±481.9
PARKING SUMMARY			
PARKING SPACES ⁽⁸⁾ (SPACES)	2	N/A	2

NOTES:

- EXISTING NON-CONFORMITY.
- PER SECTION 188-71.D(2) OF THE VILLAGE OF NELSONVILLE ZONING CODE, NO TOWER SHALL BE PLACED CLOSER THAN 300 FEET TO THE NEAREST HABITABLE STRUCTURE.
- PER SECTION 188-71.D(5)(g)(1) OF THE VILLAGE OF NELSONVILLE ZONING CODE, THE MINIMUM FRONT YARD SETBACK TO A TOWER SHALL BE 150 FEET OR 125% OF THE HEIGHT OF THE TOWER, WHICHEVER IS GREATER.
- PER SECTION 188-71.D(5)(g)(2) OF THE VILLAGE OF NELSONVILLE ZONING CODE, THE MINIMUM SIDE YARD SETBACK TO A TOWER SHALL BE 50 FEET OR 125% OF THE HEIGHT OF THE TOWER, WHICHEVER IS GREATER.
- PER SECTION 188-71.D(6) OF THE VILLAGE OF NELSONVILLE ZONING CODE, THE MAXIMUM HEIGHT OF A FREESTANDING COMMERCIAL TELECOMMUNICATIONS TOWER SHALL BE 110 FEET.
- PER SECTION 188-71.D(3) OF THE VILLAGE OF NELSONVILLE ZONING CODE, IN A RESIDENTIAL ZONE, A TOWER SHALL NOT BE PLACED CLOSER THAN 500 FEET TO ANY EXISTING COMMERCIAL COMMUNICATIONS TOWER, WHETHER SUCH EXISTING TOWER IS IN A RESIDENTIAL ZONE OR ANY OTHER ZONE.
- PER SECTION 188-71.D(5)(c) OF THE VILLAGE OF NELSONVILLE ZONING CODE, NO BUILDINGS OR STRUCTURES ACCESSORY TO THE OPERATION OF A COMMERCIAL TELECOMMUNICATIONS FACILITY OR COMMERCIAL TELECOMMUNICATIONS ANTENNA INSTALLATION MAY BE CONSTRUCTED IN ANY REQUIRED FRONT YARD AND MUST PROVIDE AT LEAST 50 FOOT SIDE AND REAR SETBACK FROM THE PROPERTY LINE. ON ANY LOT LINE ADJUTING A RESIDENTIAL DISTRICT, THE REQUIRED SETBACK SHALL BE 100 FEET.
- PER SECTION 188-71.D(c)(2) OF THE VILLAGE OF NELSONVILLE ZONING CODE, A MINIMUM OF TWO PARKING SPACES SHALL BE PROVIDED FOR EACH COMMERCIAL TELECOMMUNICATIONS TOWER WHICH HOUSES A COMMERCIAL TELECOMMUNICATIONS ANTENNA INSTALLATION.

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION. INsofar AS THEY MAY BE CHALLENGED BY HIS OPERATION, WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS, IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNdue INTERRUPTION OF UTILITY SERVICE.
- UNDER INDUSTRIAL CODE 753, CONTRACTOR SHALL NOTIFY ALL OPERATORS OF UTILITIES LOCATED IN THE AREA WHERE THE WORK IS TO BE PERFORMED PRIOR TO THE START OF THIS WORK SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE ABLE TO LOCATE AND MARK THE LOCATIONS OF THEIR OWN UTILITIES. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC.
- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA), AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYSDOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- PRIOR TO OBTAINING A BUILDING PERMIT TO ALLOW ITS CONSTRUCTION, DETAILED DESIGN CALCULATIONS MUST BE PROVIDED TO ILLUSTRATE COMPLIANCE WITH ANSI TIA/EIA "222-F AND ANSI TIA 222-G "STRUCTURAL STANDARDS FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS" AND THE NYS BUILDING CODE, FOR REVIEW AND ACCEPTANCE BY THE VILLAGE.

PROJECT CONTACTS:

SITE PLANNER & CIVIL ENGINEER



**JMC PLANNING ENGINEERING
LANDSCAPE ARCHITECTURE
& LAND SURVEYING, PLLC**
120 BEDFORD ROAD
ARMONK, NY 10504
(914) 273-5225

APPLICANT:



HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810
(203) 297-6345

ATTORNEY:

SNYDER & SNYDER, LLP
94 WHITE PLAINS ROAD,
TARRYTOWN, NY 10591
(914) 333-0700

SURVEYOR:

BADEY & WATSON SURVEYING & ENGINEERING, PC
3063 ROUTE 9
COLD SPRING, NY 10516
(845) 265-9217

NEPA CONSULTANT:

CBRE TELECOM SERVICES, INC.
4 WEST RED OAK LANE
WHITE PLAINS, NY 10604
(914) 694-9600

ELECTRICAL ENGINEER:

OLA CONSULTING ENGINEERS
50 BROADWAY
HAWTHORNE, NY 10532
(914) 747-2800

GEOTECHNICAL ENGINEER:

TERRACON CONSULTING ENGINEERS AND SCIENTISTS
4685 SOUTH ASH AVENUE, SUITE H-4
TEMPE, AZ 85282
(480) 897-8200

JMC DRAWINGS:

CD-1	COVER SHEET
CD-2	OVERALL SITE PLAN
CD-3	TREE REMOVAL PLAN
CD-4	SITE LAYOUT AND LANDSCAPING PLAN
CD-5	FIRE APPARATUS ACCESS PLAN
CD-6	SITE GRADING, UTILITIES, AND EROSION & SEDIMENT CONTROL PLAN
CD-7	ACCESS DRIVEWAY PROFILE
CD-8	CONSTRUCTION DETAILS
CD-9	CONSTRUCTION DETAILS
CD-10	CONSTRUCTION DETAILS
CD-11	ROCKLEDGE ROAD / EASEMENT IMPROVEMENT PLAN
CD-12	ROCKLEDGE ROAD / EASEMENT FIRE APPARATUS ACCESS PLAN
CD-13	SITE CROSS SECTIONS
CD-14	SITE CROSS SECTIONS

OLA CONSULTING ENGINEERS DRAWINGS:

E1.1	ELECTRICAL SITE PLAN
E1.2	UTILITY DETAILS
E1.3	GROUNDING PLAN AND DETAILS

TERRACON CONSULTING ENGINEERS AND SCIENTISTS DRAWINGS:


RW-1	COVER SHEET
RW-2	TECHNICAL SCOPE OF WORK
RW-3	SITE PLAN
RW-4	WALL PROFILE & TYPICAL SECTION
RW-5	WALL CONSTRUCTION DETAILS

SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCELS: 49.6-1-7



ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

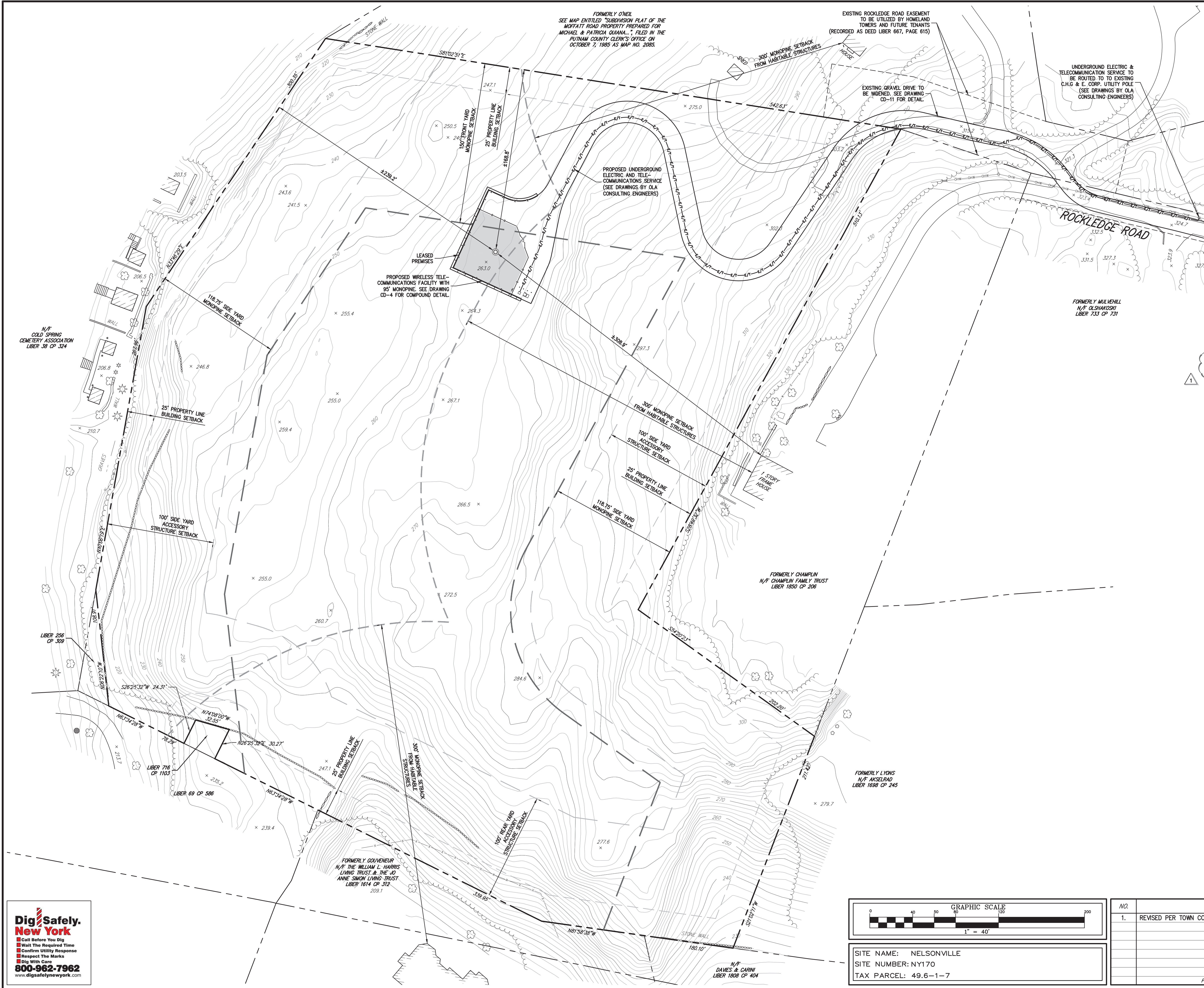


NO.	REVISION	DATE	BY	DRAWING	PD	APPROVED	JS
1.	REVISED PER TOWN COMMENTS 	05/18/2020	PD	SCALE:	AS SHOWN		
				DATE:	03/13/2020		
				PROJECT NO:	16237		
				DWG:	16237-SITE	SOP:	
				DRAWING NO:	TAB COVER	9 COVER	
				CD-1			
Previous Editions Obsolete							

Previous Editions Obsolete

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LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING UTILITY POLE
- EXISTING OVERHEAD WIRES
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING BUILDING SETBACK
- EXISTING MONOPOLE SETBACK
- EXISTING HABITABLE STRUCTURE SETBACK
- PROPOSED CONCRETE CURB
- PROPOSED FENCE

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, PC, DATED 03/21/2017, LAST REVISED 04/02/2020.
 - SUPPLEMENTAL EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS. THIS INFORMATION IS APPROXIMATE AND SHOULD BE USED FOR PLANNING PURPOSES ONLY.
- GENERAL SITE NOTES:**
- SUBJECT PROPERTY IS KNOWN AS SECTION 49.6, BLOCK 1, LOT 7 AS SHOWN ON A TAX PARCEL MAP GENERATED BY PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS.
 - ZONING CLASSIFICATION IS MR - MOUNTAIN RESIDENTIAL.
- APPLICANT:** HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810
- PROPERTY OWNER:** HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810
- THE PROPOSED USE IS FOR WIRELESS TELECOMMUNICATIONS. THE SITE IS NOT INTENDED FOR PERMANENT EMPLOYEE OCCUPANCY AND THEREFORE, POTABLE WATER SUPPLY AND SANITARY SEWER FACILITIES ARE NOT REQUIRED OR PROPOSED.
 - THE FACILITY SHALL BE VISITED ON AVERAGE, ONCE A MONTH FOR MAINTENANCE AND SHALL BE CONTINUOUSLY MONITORED FROM A REMOTE FACILITY 24 HOURS A DAY, 7 DAYS A WEEK.
 - THE APPLICANT'S EQUIPMENT IS REMOTELY OPERATED AND CONTROLLED, AND AS SUCH IS NORMALLY UNMANNED. COMPUTERIZED EQUIPMENT AND FACILITY ALARM SYSTEMS CONTINUOUSLY MONITOR AN EXTENSIVE NUMBER OF OPERATIONAL AND SHELTER FUNCTIONS.
 - ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
A. CURRENT PREVAILING MUNICIPAL AND/OR STATE SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
B. CURRENT PREVAILING UTILITY COMPANY AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - THERE WILL NOT BE ANY CHANGES IN EXISTING DRAINAGE PATTERNS TO THE MAXIMUM EXTENT PRACTICABLE.
 - THERE ARE NO COMMERCIAL SIGNS PROPOSED FOR ANY ASPECT OF THE USE.
 - THE PROPOSED FACILITY IS UNMANNED AND WILL NOT GENERATE ANY ADDITIONAL NOISE ABOVE AMBIENT LEVELS AT THE PROPERTY LINE, DUST, FUMES, ODORS OR VIBRATIONS.
 - THERE ARE NO COMMERCIAL SIGNS PROPOSED FOR THE PROJECT.
 - TWO PARKING SPACES ARE PROPOSED AS PART OF THIS PROJECT. THE SPACE IS TO BE USED BY SERVICE TECHNICIANS DURING MAINTENANCE VISITS.
 - ANY LIGHTING PROPOSED BY TENANT/CARRIER EQUIPMENT SPECIFICATIONS SHALL CONFORM TO TOWN CODE REQUIREMENTS, BE CONTROLLED BY A MANUAL TIMER, AND NOT SPILL ONTO ADJACENT PROPERTIES.

HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
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OVERALL SITE PLAN

HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

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NO.	REVISION	DATE	BY	APPROVED
1.	REVISED PER TOWN COMMENTS	05/18/2020	PD	JS

SCALE: 1" = 40'

DATE: 03/13/2020

PROJECT NO: 16237

DWG: 16237-SITE **TAB:** OSP **SOP:** 1_OSP

DRAWING NO: CD-2

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LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRES
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL

- NOTES:**
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 - SUPPLEMENTAL EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS. THIS INFORMATION IS APPROXIMATE AND SHOULD BE USED FOR PLANNING PURPOSES ONLY.
 - AS PART OF THIS APPLICATION, 66 TREES ARE PROPOSED TO BE REMOVED. THE TREES PROPOSED TO BE REMOVED ARE IN THE COMPOUND AND ACCESS DRIVE AREAS, AS WELL AS AREAS OF SIGNIFICANT EARTHWORK. TREE REMOVAL WILL BE LIMITED TO THE LIMIT OF DISTURBANCE DEPICTED HEREIN PURSUANT TO VILLAGE CODE 198-71.6(6)(a). TREES WITHIN FIFTY FEET OF THE PROPERTY LINE WILL BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.

TREE REMOVAL TABLE									
ID NUMBER	ABBREVIATION	SPECIES	SIZE	HEALTH CONDITION	ID NUMBER	ABBREVIATION	SPECIES	SIZE	HEALTH CONDITION
1	OK	OAK	16"	GOOD	34	OK	OAK	14"	GOOD
2	OK	OAK	18"	GOOD	35	OK	OAK	16"	GOOD
3	OK	OAK	16"	GOOD	36	HM	HEMLOCK	8"	GOOD
4	OK	OAK	20"	GOOD	37	OK	OAK	10"	GOOD
5	OK	OAK	18"	GOOD	38	OK	OAK	12"	GOOD
6	OK	OAK	16"	GOOD	39	OK	OAK	8"	GOOD
7	OK	OAK	20"	GOOD	40	OK	OAK	14"	GOOD
8	OK	OAK	12"	GOOD	41	OK	OAK	8"	GOOD
9	OK	OAK	8"	GOOD	42	OK	OAK	12"	GOOD
10	OK	OAK	8"	GOOD	43	OK	OAK	18"	GOOD
11	OK	OAK	24"	GOOD	44	OK	OAK	20"	GOOD
12	OK	OAK	12"	GOOD	45	OK	OAK	10"	GOOD
13	OK	OAK	12"	GOOD	46	OK	OAK	28"	GOOD
14	HM	HEMLOCK	16"	GOOD	47	OK	OAK	16"	GOOD
15	OK	OAK	20"	GOOD	48	OK	OAK	16"	GOOD
16	OK	OAK	16"	GOOD	49	OK	OAK	20"	GOOD
17	OK	OAK	18" TW	GOOD	50	OK	OAK	12"	GOOD
18	OK	OAK	14"	GOOD	51	OK	OAK	18" TR	GOOD
19	OK	OAK	10"	GOOD	52	OK	OAK	16"	GOOD
20	OK	OAK	18"	GOOD	53	OK	OAK	14"	GOOD
21	OK	OAK	10"	GOOD	54	OK	OAK	8"	GOOD
22	OK	OAK	14"	GOOD	55	OK	OAK	10"	GOOD
23	OK	OAK	18"	GOOD	56	OK	OAK	16"	GOOD
24	OK	OAK	14"	GOOD	57	OK	OAK	8"	GOOD
25	OK	OAK	8"	GOOD	58	OK	OAK	8"	GOOD
26	OK	OAK	16"	GOOD	59	OK	OAK	10"	GOOD
27	OK	OAK	8" TW	GOOD	60	OK	OAK	10"	GOOD
28	OK	OAK	24"	GOOD	61	OK	OAK	12" TW	GOOD
29	OK	OAK	18"	GOOD	62	OK	OAK	12"	GOOD
30	OK	OAK	18" TW	GOOD	63	OK	OAK	10" TW	GOOD
31	OK	OAK	10"	GOOD	64	OK	OAK	14"	GOOD
32	OK	OAK	14"	GOOD	65	OK	OAK	14"	GOOD
33	OK	OAK	10"	GOOD	66	OK	OAK	12"	GOOD

HOMELAND TOWERS, LLC
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DANBURY, CT 06810

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TREE REMOVAL PLAN
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

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STATE OF NEW YORK
DAVID P. LOMBARDI
REGISTERED PROFESSIONAL ENGINEER
071001

NO.	REVISION	DATE	BY	PD	APPROVED	JS
1.	REVISED PER TOWN COMMENTS	05/18/2020	PD			

SCALE: 1" = 20'

DATE: 03/13/2020

PROJECT NO: 16237

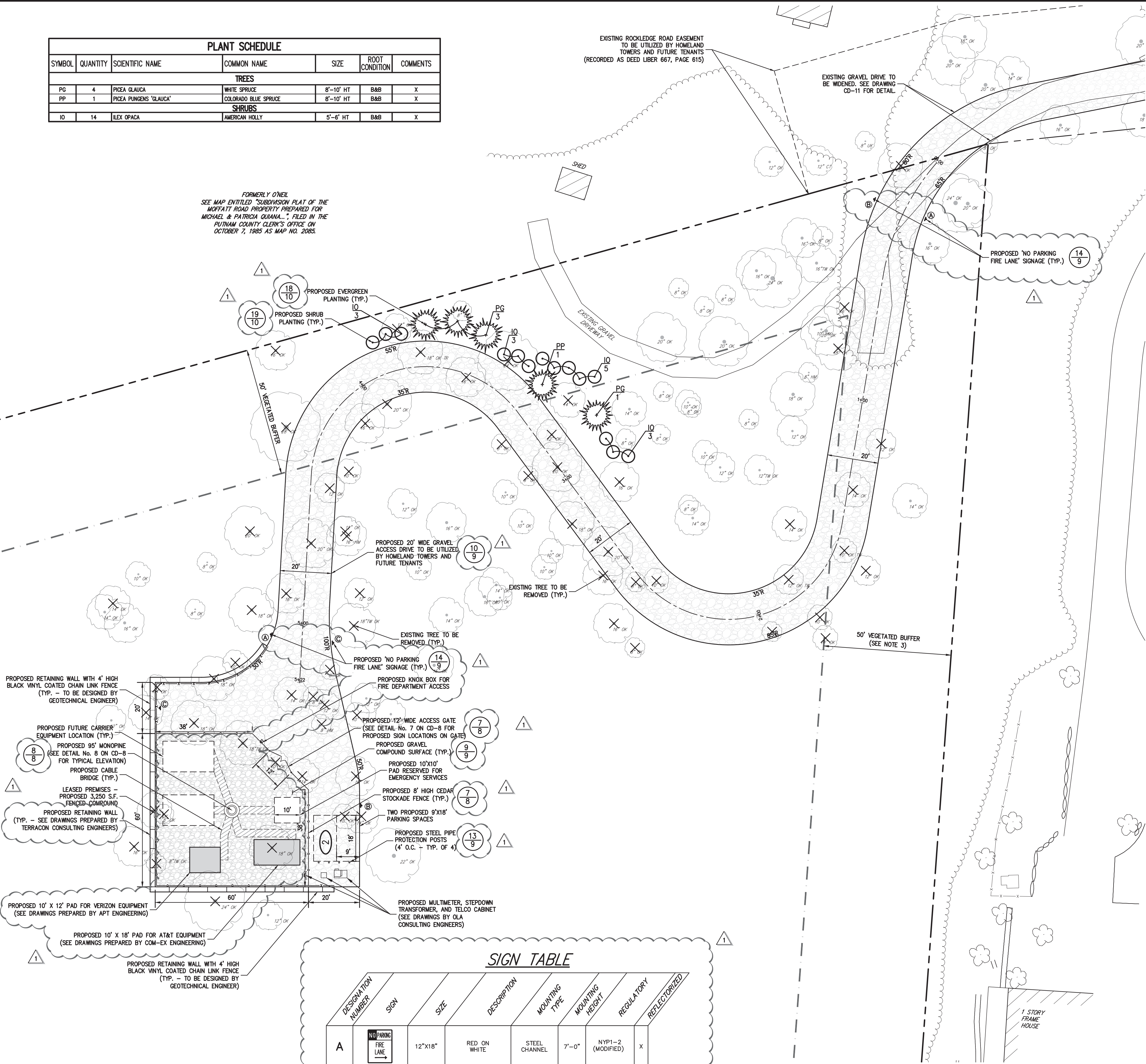
DWC: 16237-SITE TWP: 2, TRP: 2, TRP: 2

DRAWING NO: **CD-3**

Previous Editions Obsolete

PLANT SCHEDULE						
SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT CONDITION	COMMENTS
TREES						
PG	4	PIKEA GLAUCA	WHITE SPRUCE	8"-10" HT	B&B	X
PP	1	PIKEA PUNGENS 'GLAUCA'	COLORADO BLUE SPRUCE	8"-10" HT	B&B	X
SHRUBS						
IO	14	ILEX OPACA	AMERICAN HOLLY	5"-6" HT	B&B	X

FORMERLY O'NEIL
SEE MAP ENTITLED "SUBDIVISION PLAT OF THE
MOFFATT ROAD PROPERTY PREPARED FOR
MICHAEL & PATRICIA GUANA," FILED IN THE
PUTNAM COUNTY CLERK'S OFFICE ON
OCTOBER 7, 1985 AS MAP NO. 2085.



LANDSCAPING NOTES:

- ALL PLANT MATERIAL SPECIFIED ON THE DRAWINGS SHALL BE FIRST QUALITY NURSERY GROWN STOCK, CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY, ALL OF WHICH SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORTI (ANSI Z60.1)," LATEST EDITION.
- ALL DISTURBED AREAS OF THE SITE NOT OCCUPIED BY GRAVEL, OR OTHER IMPERVIOUS SURFACE, AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER, SHALL BE LAWN.
- ALL MULCH TO BE PLACED IN PLANTING BEDS SHALL BE CLEAN, NON-DYED, TOXIC FREE, ORGANIC MATERIAL, CONSISTING OF SHREDDED HARDWOOD, ROOT MULCH SHREDDED CEDAR, OR BARK CHIPS, AS APPROVED BY THE OWNERS FIELD REPRESENTATIVE OR PROJECT LANDSCAPE ARCHITECT. THE PLACEMENT THICKNESS OF THE MULCH SHALL BE 3" AND/OR AS DIRECTED IN THE PLANTING DETAILS.
- PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
- ALL LANDSCAPE PLANTINGS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANT(S) AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING PLANTING SEASON.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
- ALL PLANT MATERIAL STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECTS EGGS, AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED.
- PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SOURCES OF ALL PLANT MATERIAL SHALL BE DISCLOSED TO PROJECT LANDSCAPE ARCHITECT AND OWNER PRIOR TO DELIVERY.
- ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, AS SPECIFIED IN THE PLANT LIST. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
- ALL LAWN AREAS (SOD OR SEED) SHALL RECEIVE A MINIMUM 6" THICK LAYER OF SCREENED TOPSOIL PRIOR TO INSTALLATION OF SOD OR SEED, UNLESS OTHERWISE SPECIFIED. TOPSOIL SHALL CONFORM TO THE PROJECT SPECIFICATIONS.
- SOIL WITHIN ALL PLANTING BEDS SHALL BE PREPARED AS DIRECTED IN THE PLANTING DETAILS AND PROJECT SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN GOOD HEALTH UNTIL THE PROJECT LANDSCAPE ARCHITECT HAS PROVIDED WRITTEN ACCEPTANCE THAT THE PLANTINGS ARE COMPLETE AND IN CONFORMANCE WITH THE PLANS. THE CONTRACTOR SHALL GUARANTEE THE SURVIVAL OF THE PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE PROJECT LANDSCAPE ARCHITECT, UNLESS OTHERWISE AGREED TO WITH THE OWNER.
- ALL AREAS DISTURBED OR DAMAGED DURING THE COURSE OF THE CONTRACTORS WORK SHALL BE REPAIRED OR RESTORED TO ORIGINAL OR CONSTRUCTED CONDITION AT NO ADDITIONAL COST TO OWNER.
- FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY PROJECT LANDSCAPE ARCHITECT. PROJECT LANDSCAPE ARCHITECT MAY ADJUST SPACING AND LOCATION IN FIELD PRIOR TO OR AFTER PLANTING.
- CONTRACTOR SHALL IMMEDIATELY REPORT ANY UNSATISFACTORY SITE CONDITIONS TO THE OWNER IN WRITING. CONTRACTOR SHALL RECEIVE NO ADDITIONAL PAYMENT FOR ADDITIONAL WORK ASSOCIATED WITH THE UNSATISFACTORY CONDITIONS IF NOT PROPERLY REPORTED AND WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER.
- ALL TREE AND SHRUB PLANTINGS INSTALLED ADJACENT TO THE ACCESS DRIVEWAY SHALL BE SETBACK A MINIMUM OF 24" FROM EDGE OF THE PLANT TO EDGE OF THE ACCESS DRIVEWAY.

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING BUILDING LINE
	PROPOSED GRAVEL COMPOUND SURFACE
	PROPOSED GRAVEL ACCESS DRIVE SURFACE
	PROPOSED CABLE BRIDGE
	PROPOSED CEDAR STOCKADE FENCE
	PROPOSED RETAINING WALL WITH 4' HIGH VINYL COATED CHAIN LINK FENCE
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED STEEL PROTECTION POST
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	PROPOSED EVERGREEN PLANTING
	PROPOSED SHRUB PLANTING
	DETAIL NUMBER
	DRAWING NUMBER

NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, PC, DATED 03/21/2017, LAST REVISED 04/02/2020.
- FINAL UNDERGROUND ELECTRIC AND TELECOMMUNICATIONS SERVICE ROUTING TO BE DETERMINED AFTER CONSULTING WITH PROVIDER.
- ANY LIGHTING REQUIRED BY TENANT/CARRIER EQUIPMENT SPECIFICATIONS SHALL CONFORM TO VILLAGE CODE REQUIREMENTS, BE CONTROLLED BY A MANUAL TIMER, AND FACE DOWNWARD SO AS NOT TO SPILL ONTO ADJACENT PROPERTIES.

1'-6"

1'-0"

CARRIER

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Cell Site # _____

To Report An Emergency,
Specify the Cell Site Number above and Call
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This Communication Facility is Protected And Licensed
By The FCC, KNN4201.

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No Trespassing

Violators Will Be Prosecuted To The Full Extent Of The Law.

(WHITE METAL SIGN WITH BLACK LETTERING)

11"

1'-0"

NOTICE

RF Controlled Area Beyond This Point

Radio frequency (RF) emissions may exceed FCC
Standards for general public exposure. Only authorized
workers permitted to enter.

For more information, please call 1-800-363-0835 and reference
the number: 0018000004.

No Solicitation
No Trespassing

(WHITE METAL SIGN WITH BLACK LETTERING)

SIGN 'A'

1'-3"

10"

HOMELAND TOWERS

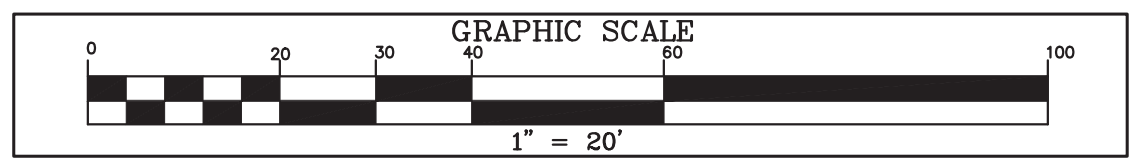
HOMELAND TOWERS, LLC
IN CASE OF EMERGENCY
CALL (914) 490-0124

(WHITE SIGN W/BLACK AND WHITE LOGO AND RED LETTERING)

NOTES:

- SEE DETAIL No. 7 ON DRAWING CD-8 FOR SIGN POSITIONING ON GATE.

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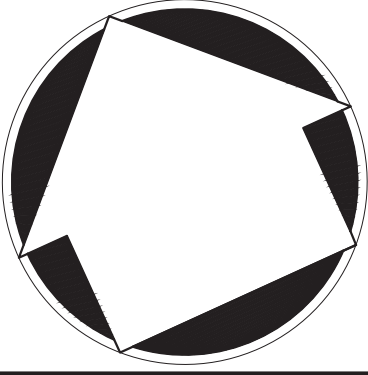
SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

NO.	REVISION	DATE	BY
1.	REVISED PER TOWN COMMENTS	05/18/2020	PD
<div> <div>SCALE: 1" = 20'</div> <div>DATE: 03/13/2020</div> <div>PROJECT NO: 16237</div> <div>DWG: RE33-SITE</div> <div>TAB: LAYOUT</div> <div>SOP: 2_LAYOUT</div> <div>DRAWING NO:</div> </div>			

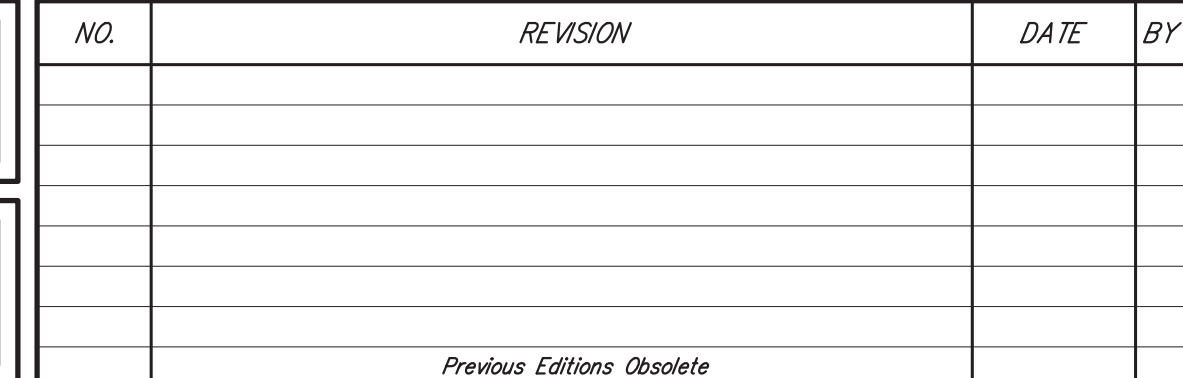
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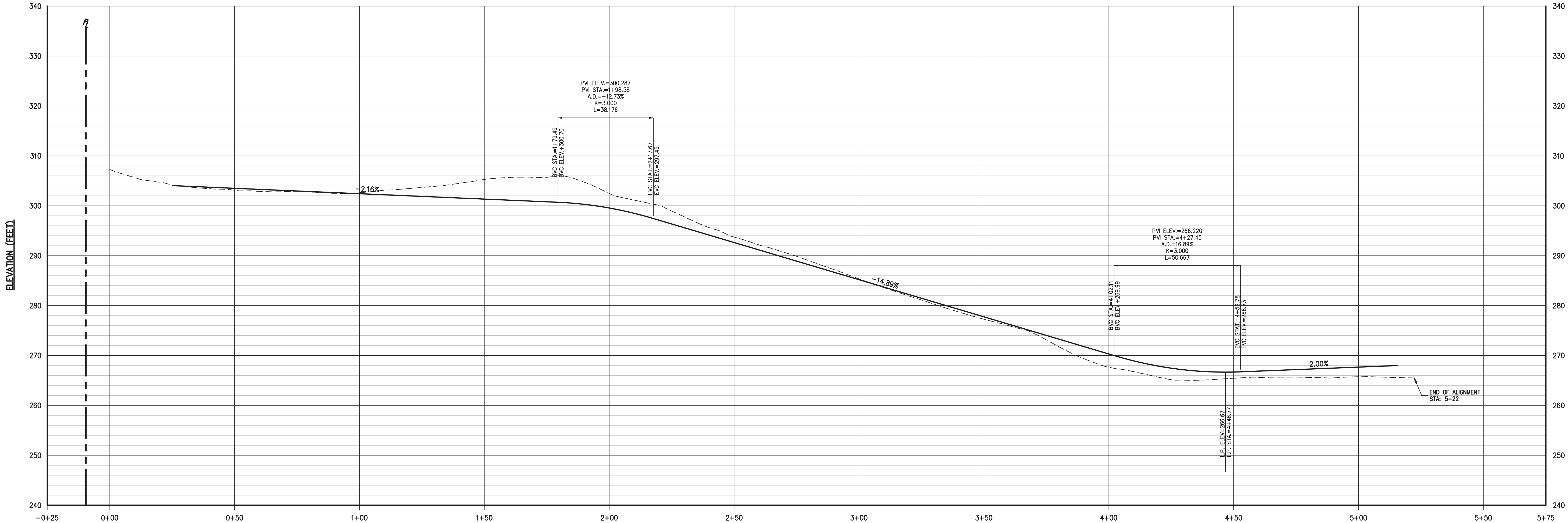


SITE LAYOUT AND
LANDSCAPING PLAN
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY





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STATION (FEET)
SCALE: 1" = 20' HORIZ. 1" = 10' VERT.
ACCESS DRIVE PROFILE

020

030

040

050

060

070

080

090

100

GRAPHIC SCALE

1" = 20'

SITE NAME: NELSONVILLE

SITE NUMBER: NY170

TAX PARCEL: 49.6-1-7

NO.	REVISION	DATE	BY
1.	REVISED PER TOWN COMMENTS	05/18/2020	PD

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STATE OF NEW YORK

DAVID P. LOMBARDI

071001

PROFESSIONAL ENGINEER

DRAWN: PD

APPROVED: JS

SCALE: AS SHOWN

DATE: 03/13/2020

PROJECT NO: 16237

DWG: 16237-SITE

TAB: PROFILE

SOP: 3.000-UTIL-SE

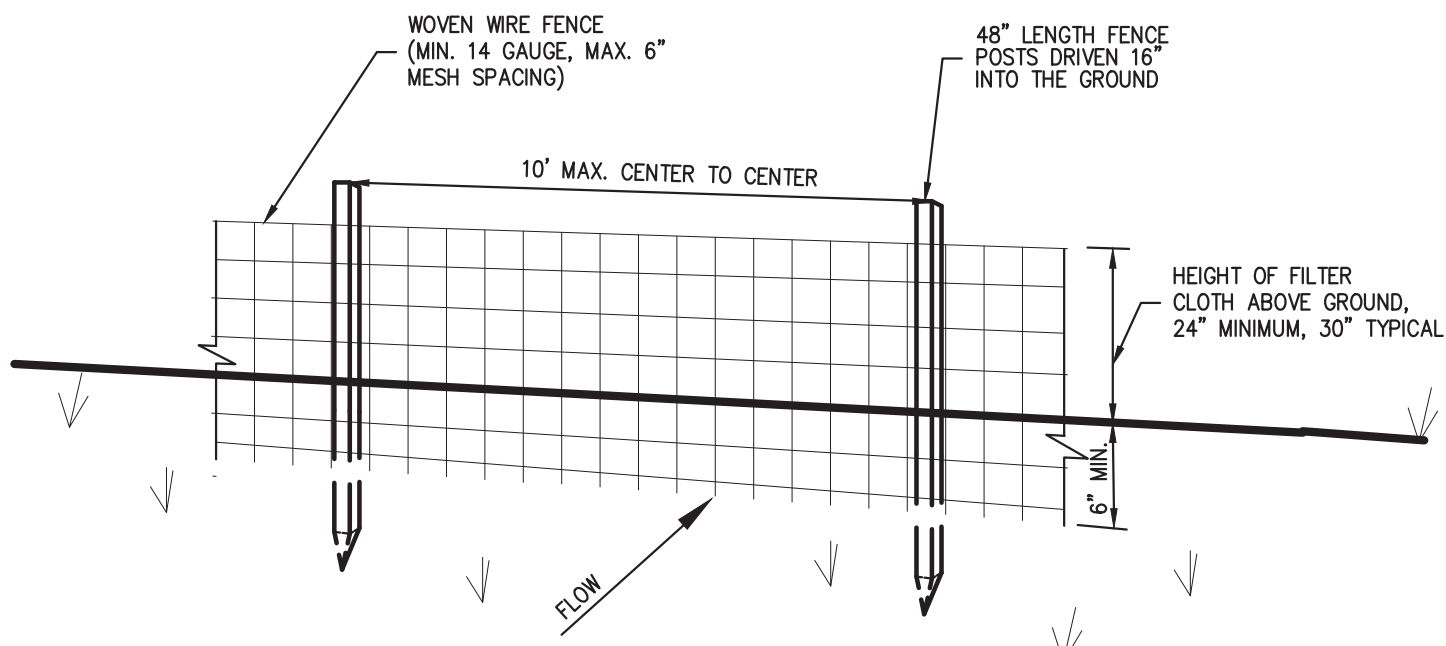
DRAWING NO: CD-7

ACCESS DRIVE PROFILE
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

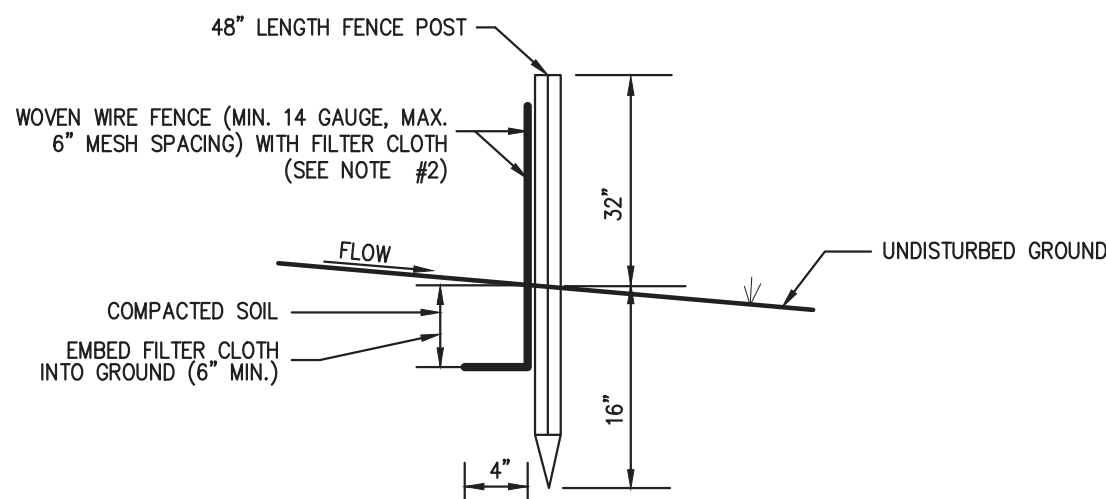
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9 HARMONY STREET, 2ND FLOOR
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PERSPECTIVE VIEW



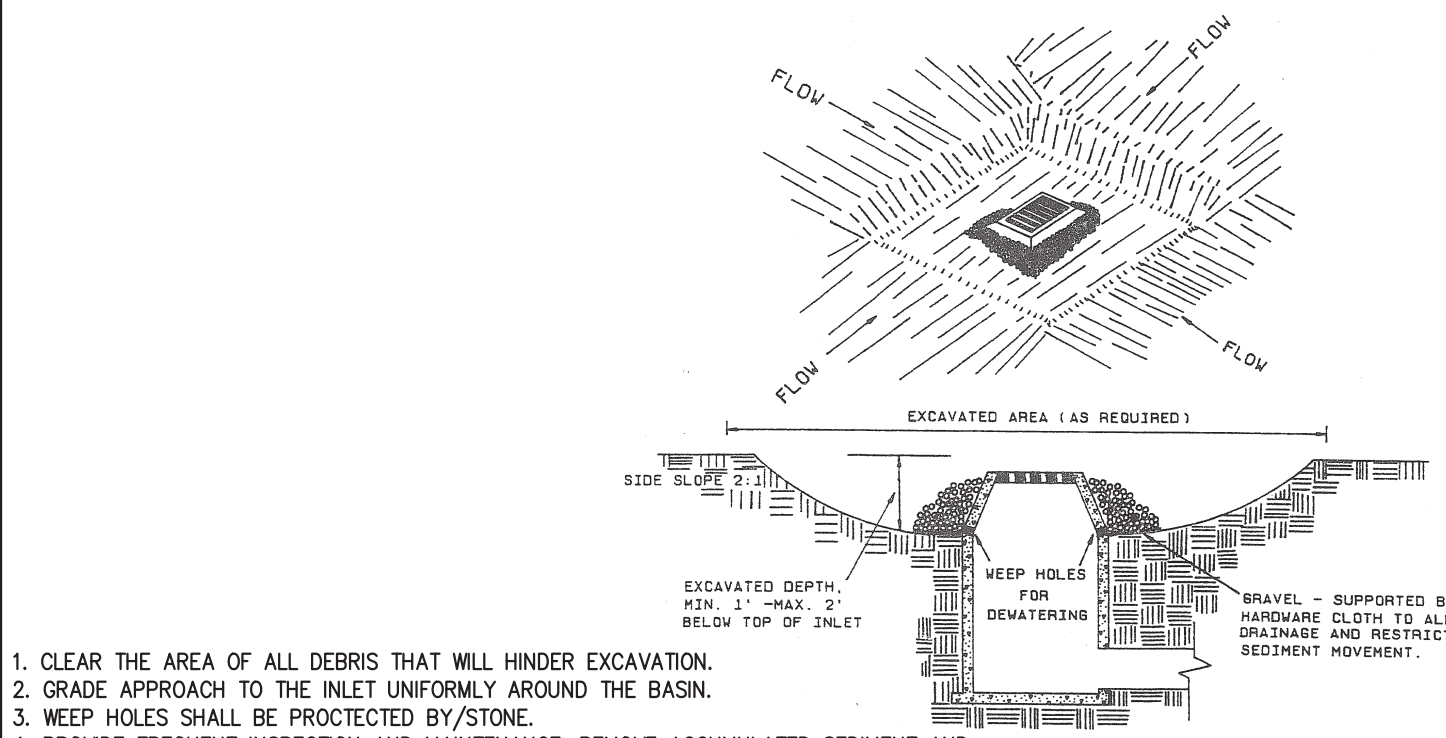
SECTION

NOTES:

- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T100N, OR APPROVED EQUAL.
- PREFABRICATED UNITS SHALL BE GEOTAB, ENVROFENCE, OR APPROVED EQUAL.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

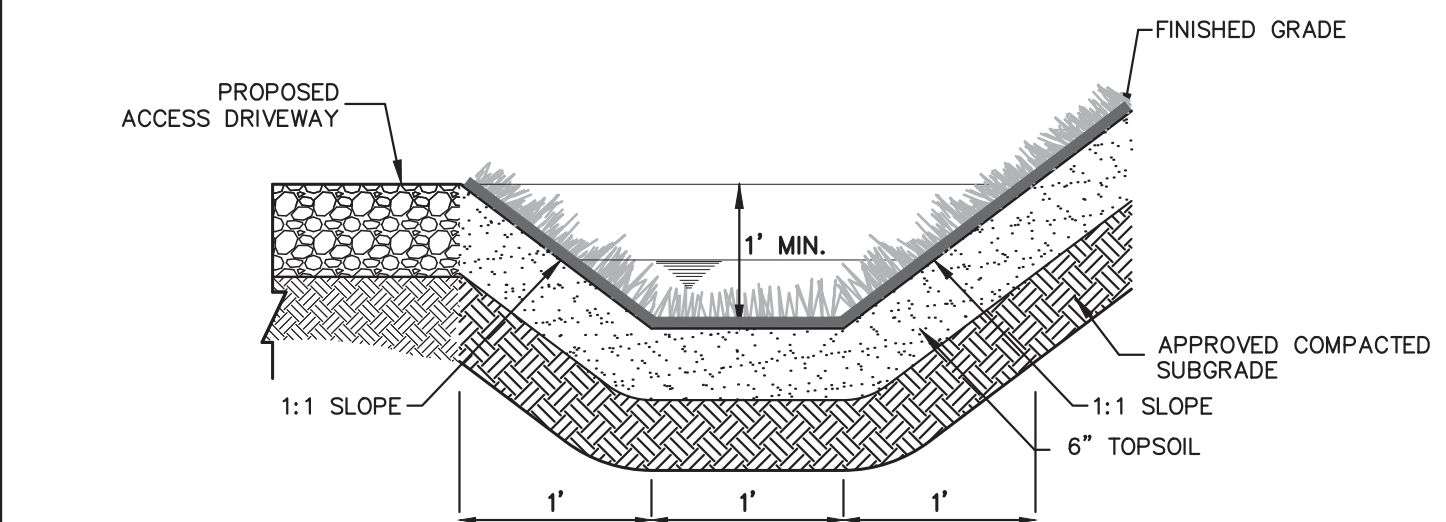
SILT FENCE

1



EXCAVATED DROP INLET PROTECTION

2

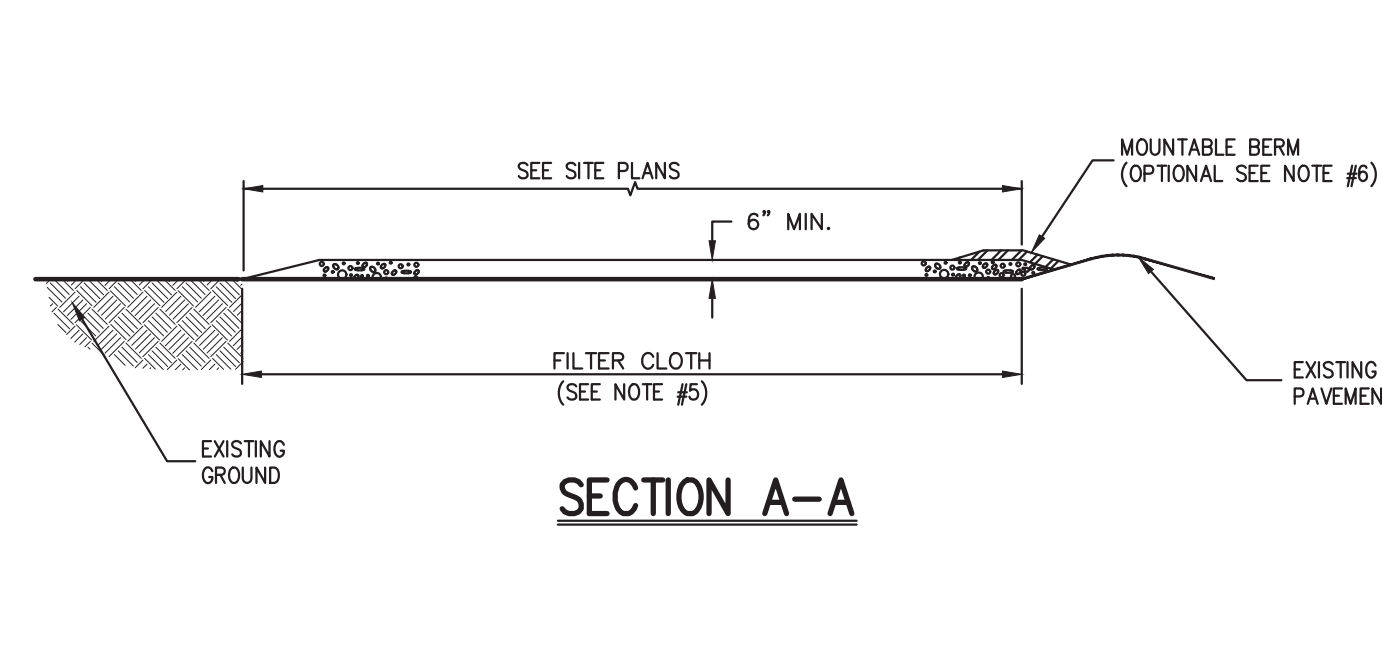


NOTES:

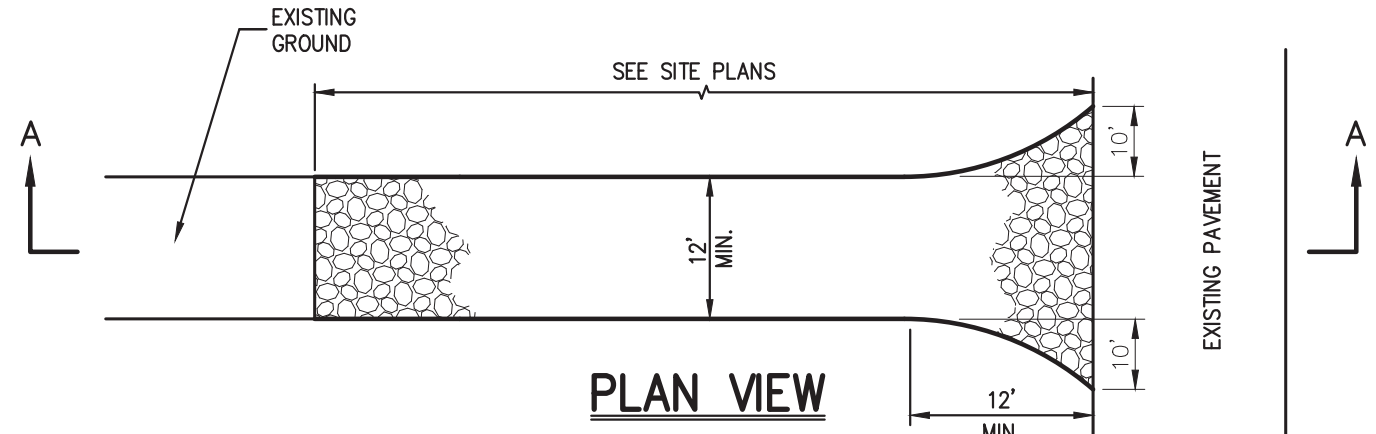
- IMMEDIATELY AFTER GRADING OPERATIONS, THE GRASS SWALE SHALL BE STABILIZED WITH SOD CONTAINING A MIXTURE OF 50% KENTUCKY BLUEGRASS, 25% CREEPING RED FESCUE AND 25% PERENNIAL RYEGRASS. SOD SHALL BE CUT IN UNIFORM WIDTH STRIPS OF LIVE GRASS.
- FOR SWALE SLOPES EXCEEDING 8%, JUTE MESH SHALL BE UTILIZED TO STABILIZE THE SWALE BASE.
- AREA ADJACENT TO SWALE TO BE BROUGHT TO FINISHED GRADE IMMEDIATELY AS REQUIRED, TOPSOILED, SEEDING AND MAINTAINED FOR EROSION CONTROL.
- 6" MINIMUM FREEBOARD SHALL BE PROVIDED.

GRASS SWALE

3



SECTION A-A



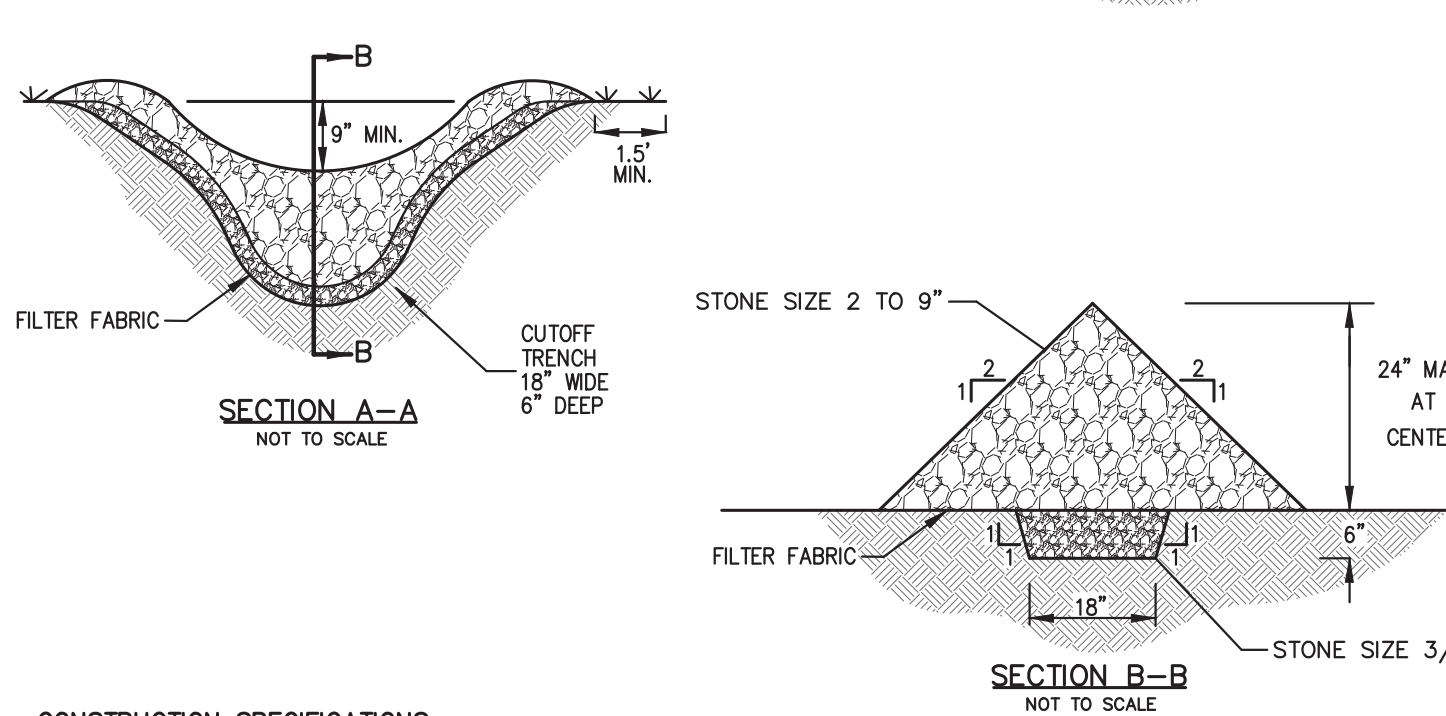
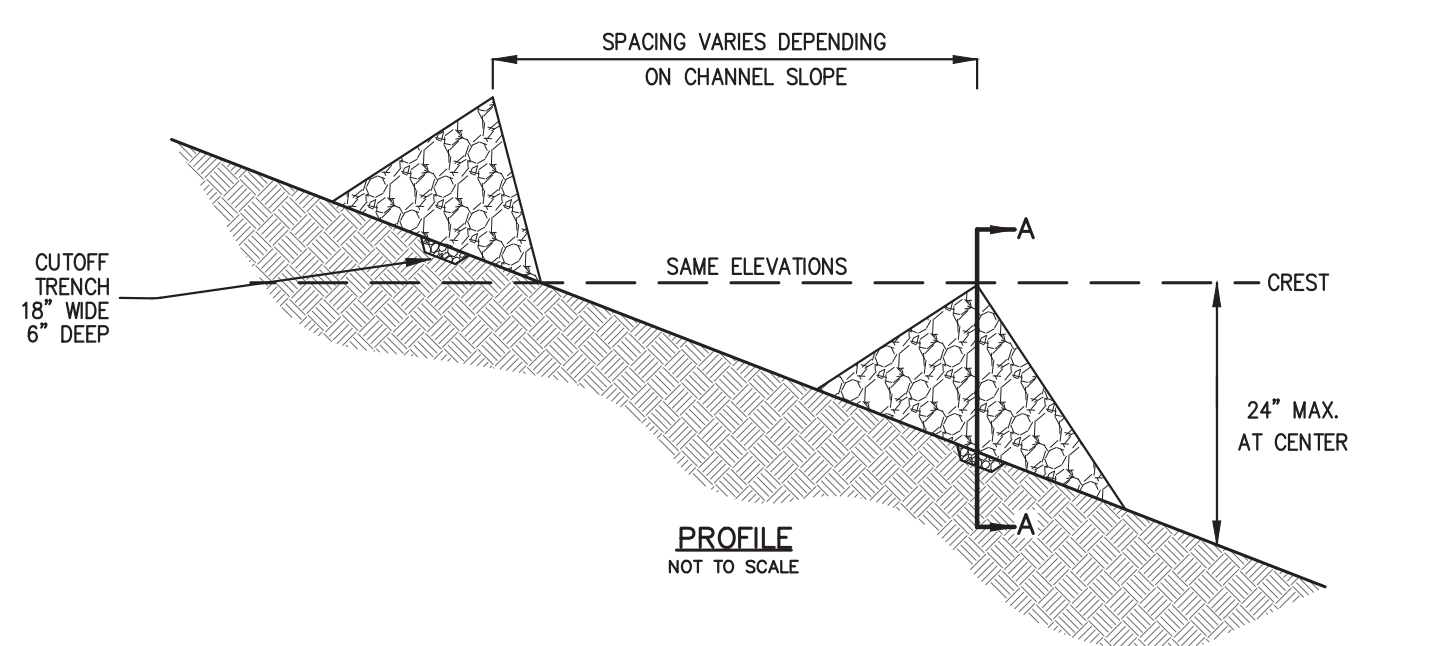
PLAN VIEW

NOTES

- STONE SIZE - USE 1" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ACCESS

4



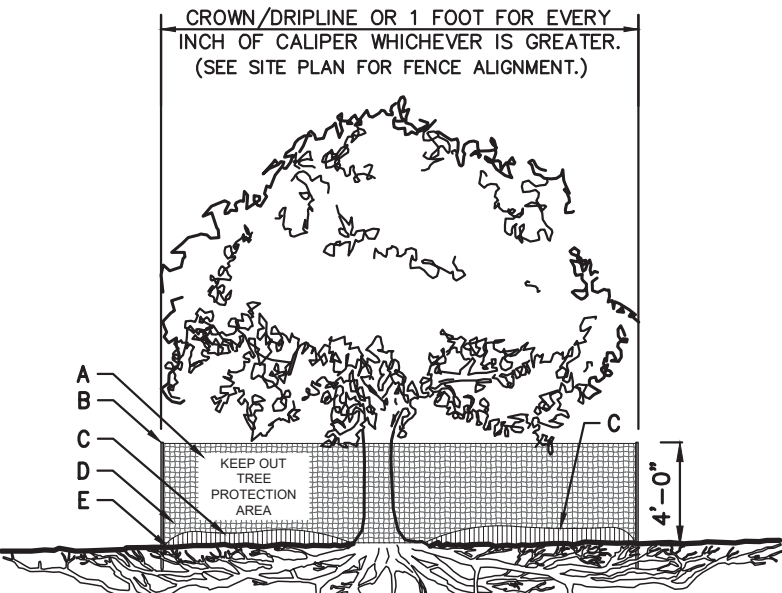
CONSTRUCTION SPECIFICATIONS:

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANK TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

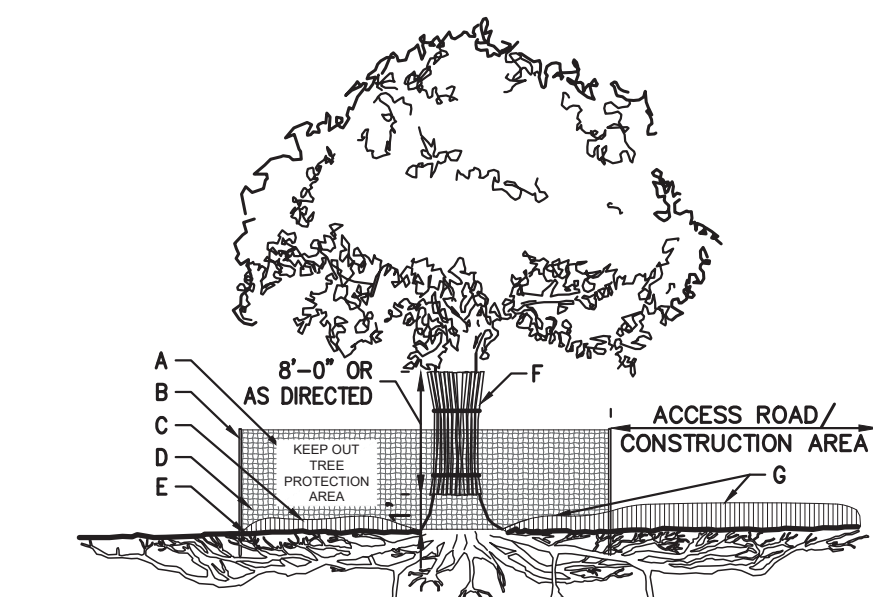
MAXIMUM DRAINAGE AREA 2 ACRES.

STONE CHECK DAM

5



TREE PROTECTION (DRIPLINE FENCE)



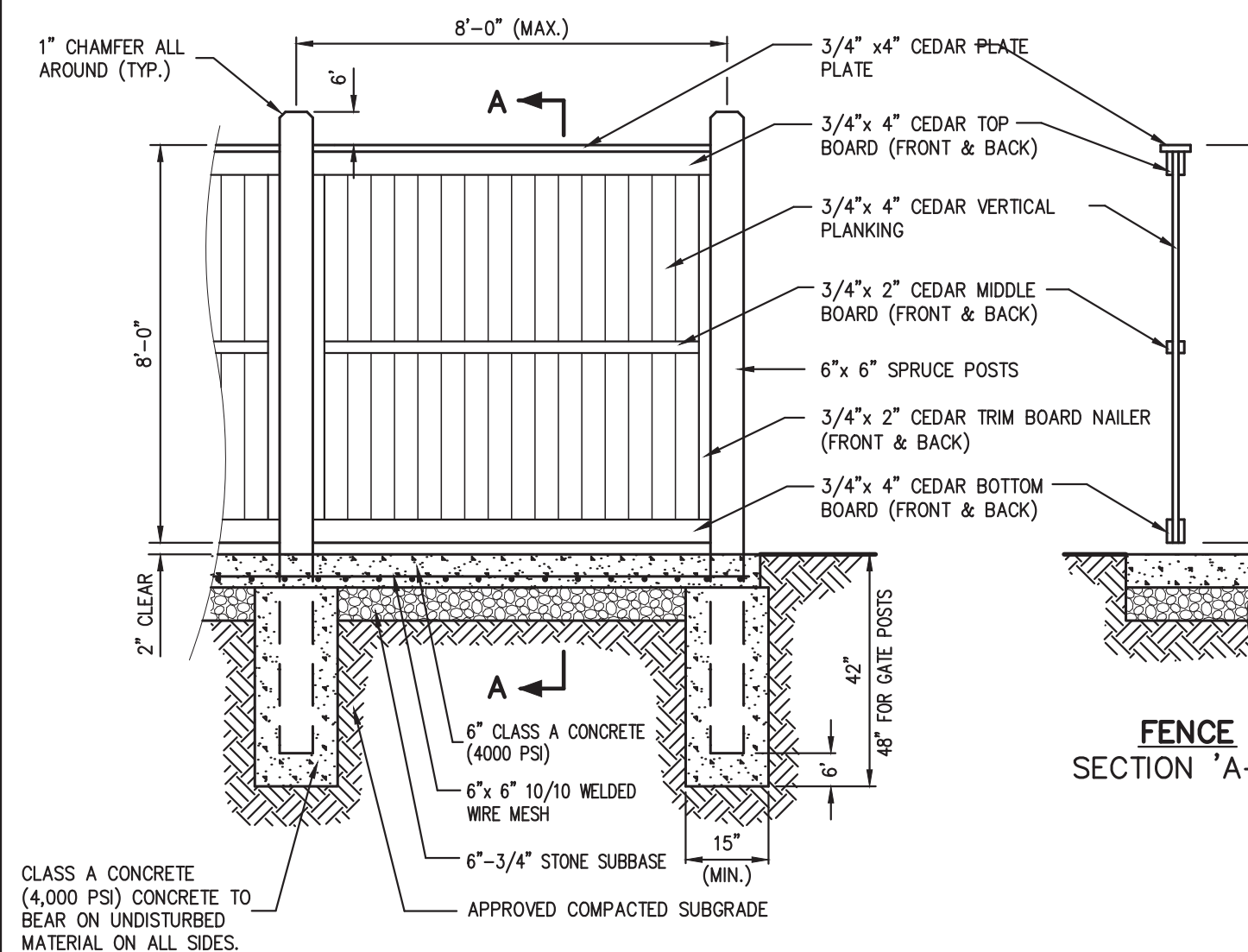
TREE PROTECTION W/ ACCESS ROAD/CONSTRUCTION AREA (DRIPLINE FENCE)

NOTES:

- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
- IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
- NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
- NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
- SEE SITE PLANS FOR IDENTIFICATIONS/LOCATIONS OF INDIVIDUAL TREES TO BE PROTECTED.
- ALL EXCAVATION WITHIN THE CROWN/DRIPLINE OF ANY TREE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SPECIAL MEASURES, SUCH AS THE USE OF AN AIR SPADE MAY BE REQUIRED.
- THE CONTRACTOR MAY PROPOSE THE USE OF ENGINEERED MATTING OR OTHER ENGINEERED PRODUCTS IN LIEU OF MULCH, WHICH SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION.

TREE PROTECTION

6



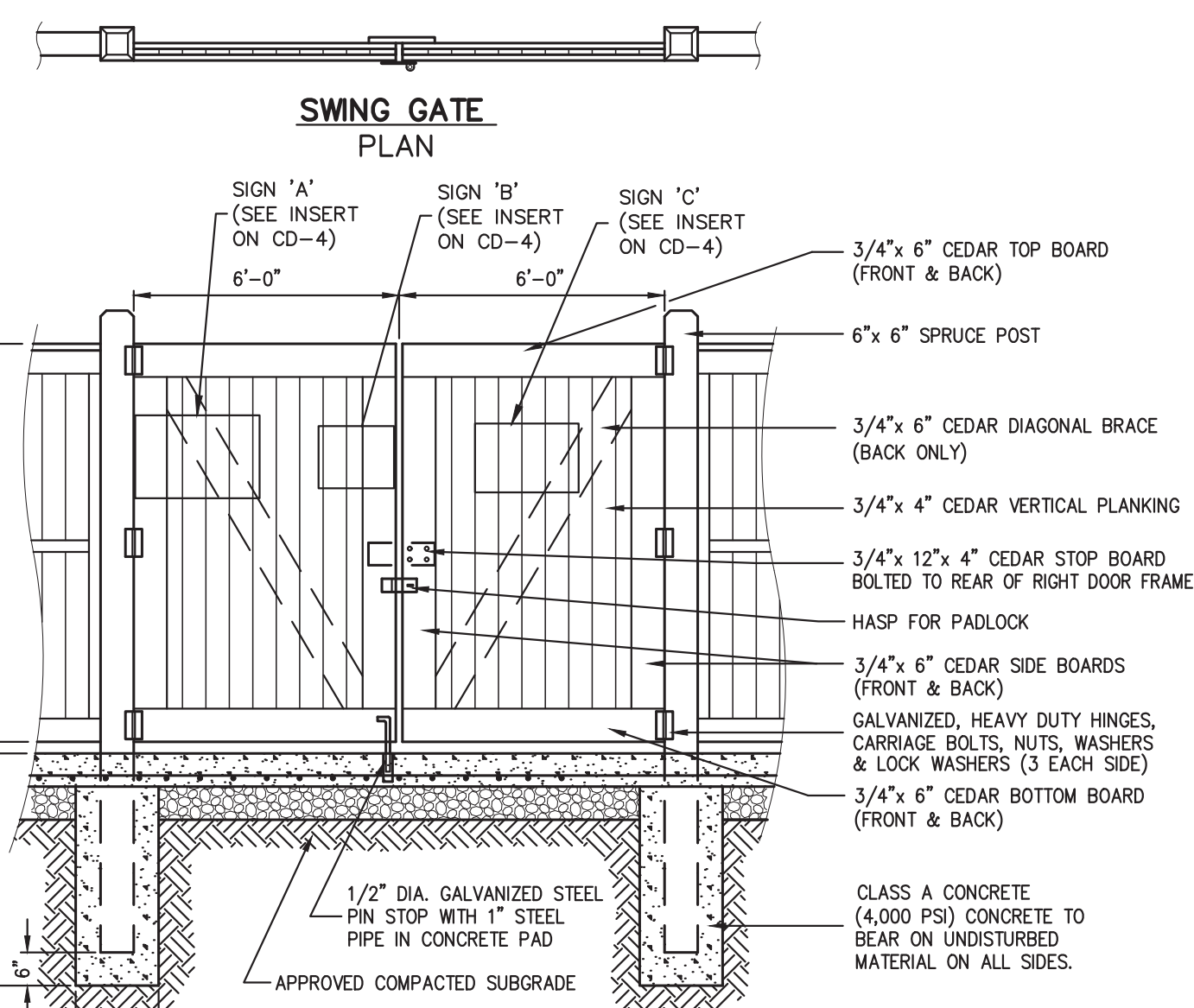
FENCE ELEVATION

NOTES:

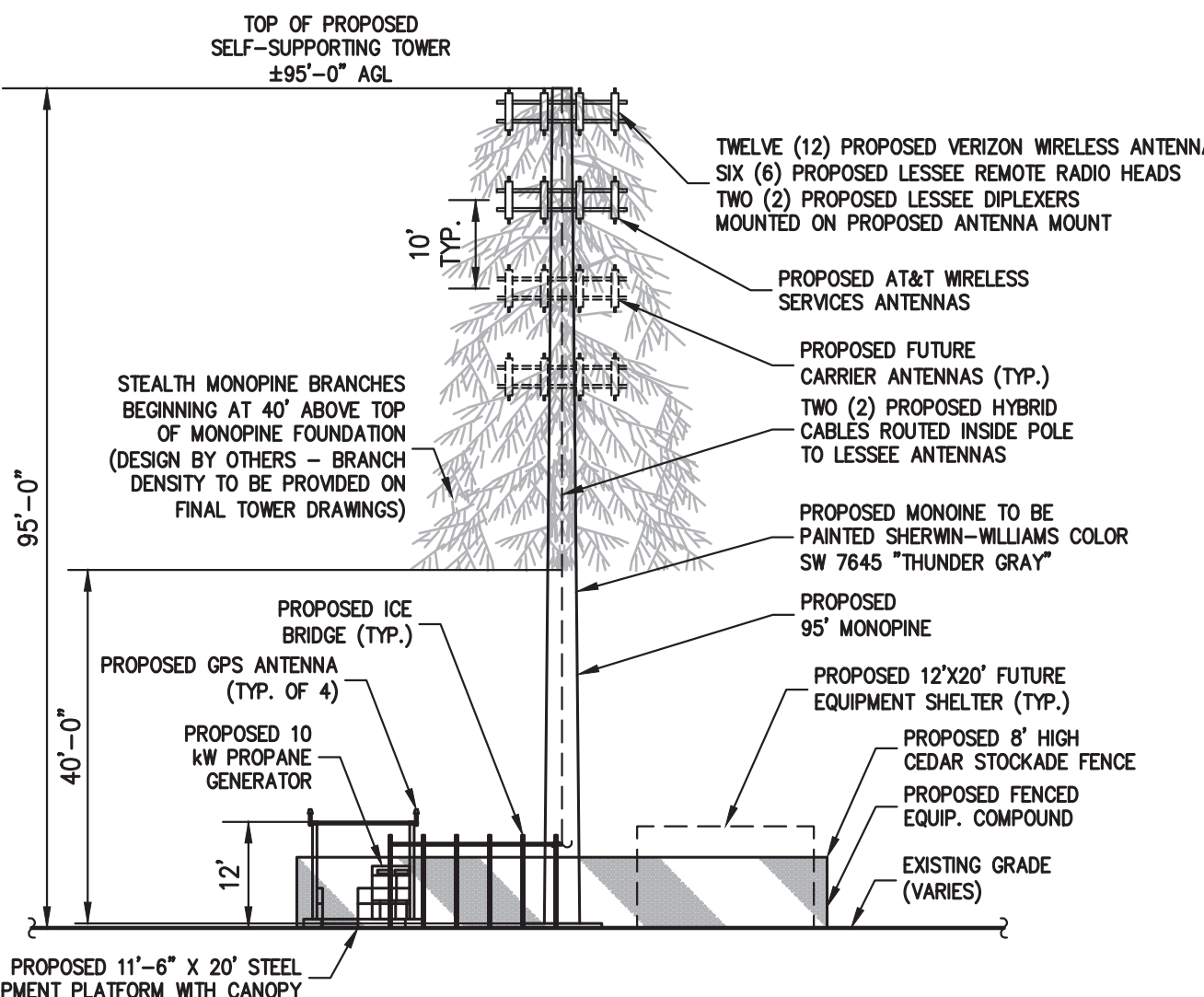
- METAL FLANGES, CLEATS, BOLTS, SCREWS, ETC. SHALL BE STAINLESS STEEL OR GALVANIZED STEEL.
- ALL LUMBER TO BE PRESSURE TREATED WITH WOOD PRESERVATIVE FOR IN GROUND USE. ALL LUMBER TO BE #1 GRADE.
- SEE SITE LAYOUT AND LANDSCAPING PLAN FOR LOCATION.
- FENCE POSTS SHALL BE SPACED NOT MORE THAN 8' ON CENTER.

CEDAR STOCKADE FENCE WITH ACCESS GATE

7



SWING GATE ELEVATION



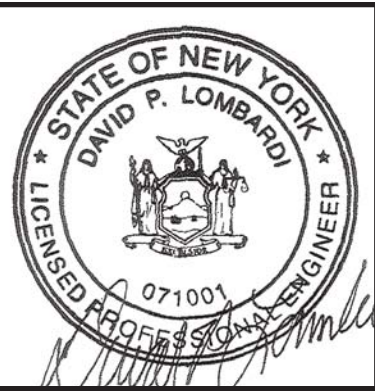
ANTENNA ELEVATION

SCALE: 1" = 20'

8

BY	DATE	REVISION	COMMENTS
PD	05/18/2020		
1.		REVISED PER TOWN COMMENTS	

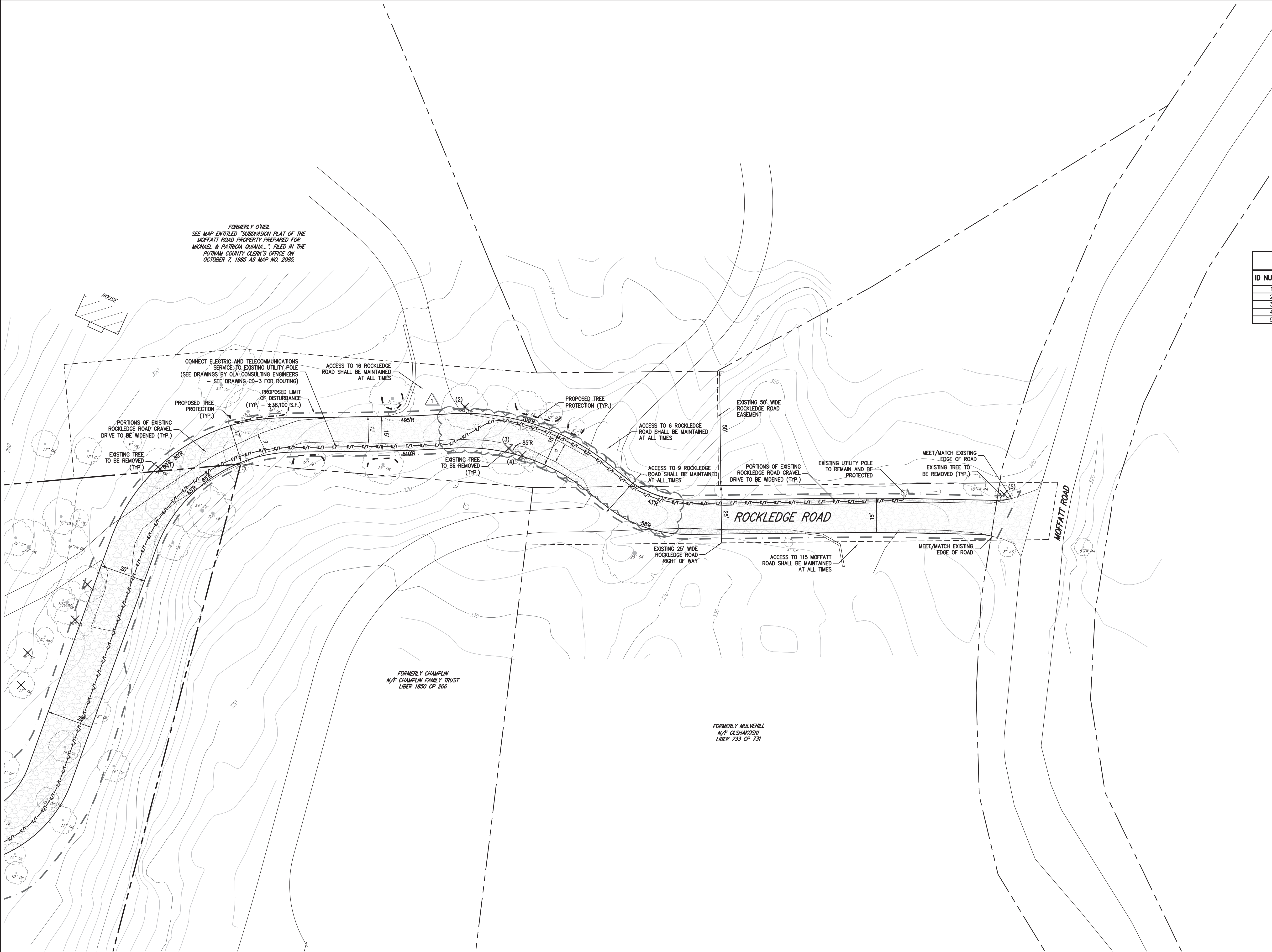
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CONSTRUCTION DETAILS
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

DRAWN	PD	APPROVED	JS
SCALE:	N.T.S.		
DATE:	03/13/2020		
PROJECT NO:	16237		
DWG: 16237-DETAILS	TAB	20-6	LS
DRAWING NO:	CD-8		

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LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING PAVEMENT EDGE
	EXISTING BUILDING LINE
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING GRAVEL DRIVE
	PROPOSED GRAVEL SURFACE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED TREE PROTECTION

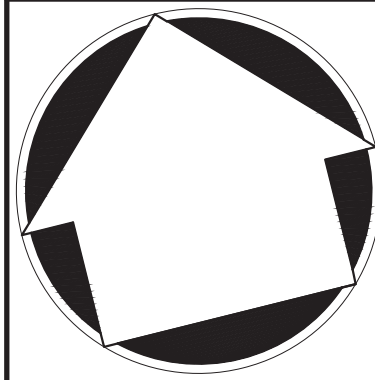
NOTES:

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TREE REMOVAL TABLE

ID NUMBER	ABBREVIATION	SPECIES	SIZE	HEALTH CONDITION
1	OK	OAK	18"	GOOD
2	OK	OAK	20"	GOOD
3	OK	OAK	24"	GOOD
4	OK	OAK	8"	GOOD
5	LO	LOCUST	8"	GOOD

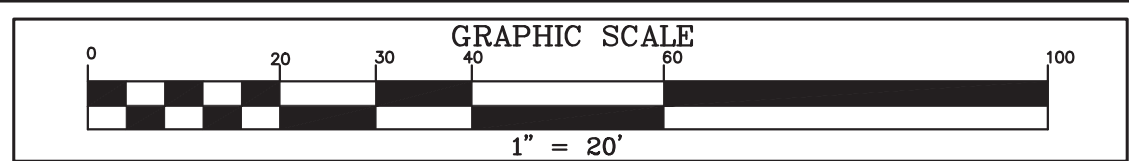
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ROCKLEDGE ROAD / EASEMENT IMPROVEMENT PLAN

HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

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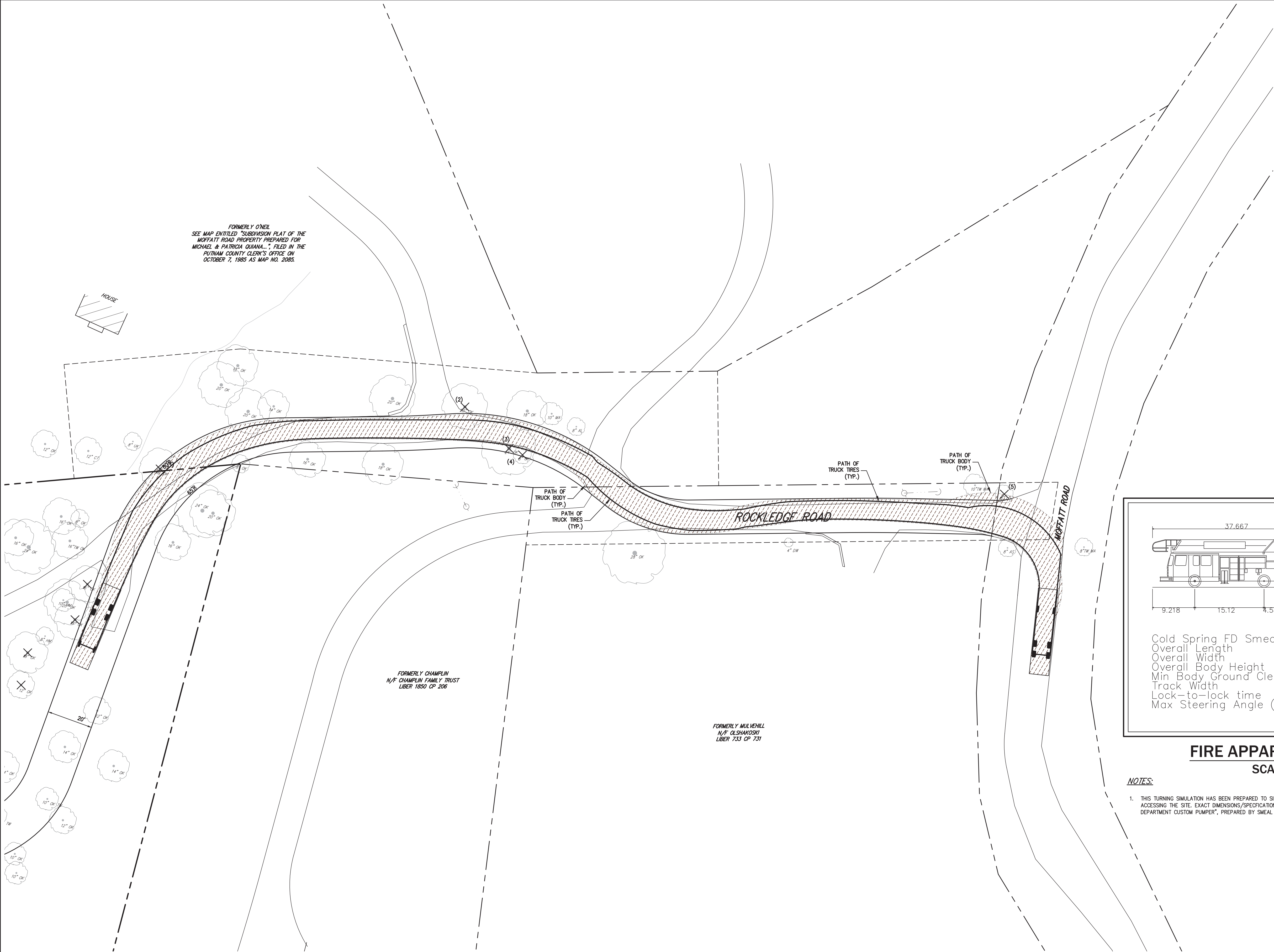
SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

NO.	REVISION	DATE	BY	APPROVED
1.	REVISED PER TOWN COMMENTS	05/18/2020	PD	JS

DRAWN: PD	SCALE: 1" = 20'
DATE: 03/13/2020	
PROJECT NO: 16237	
DWC: 16237-SITE	TAR: RROP
DRAWING NO: RROP	

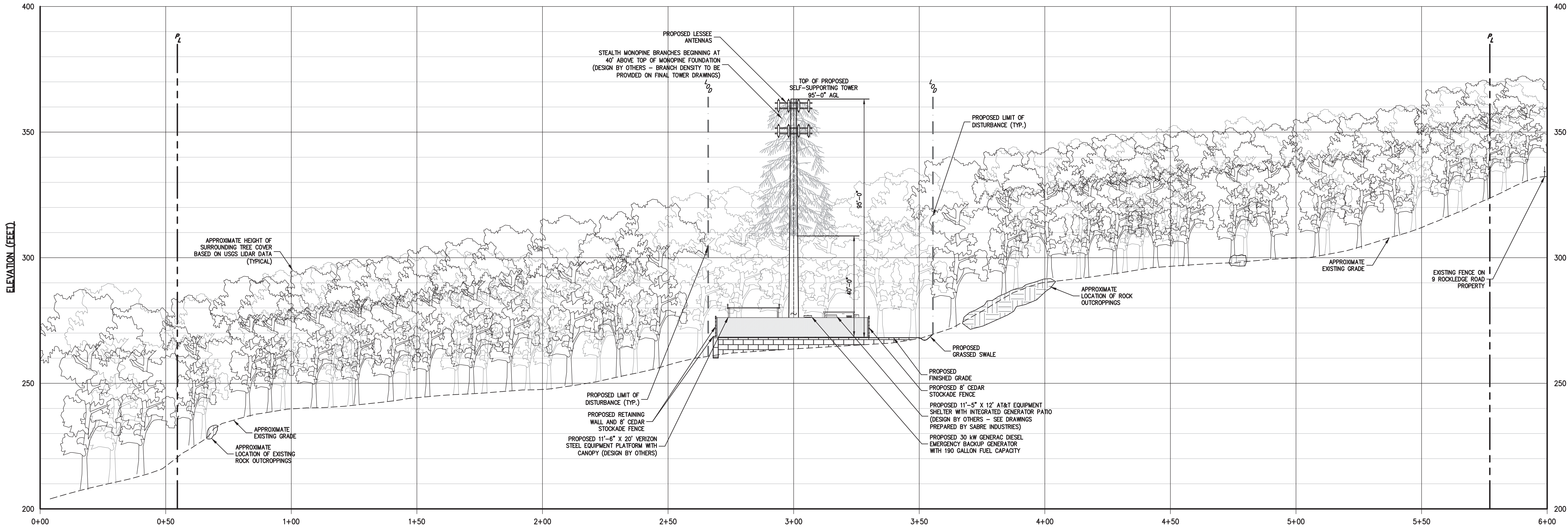
CD-11

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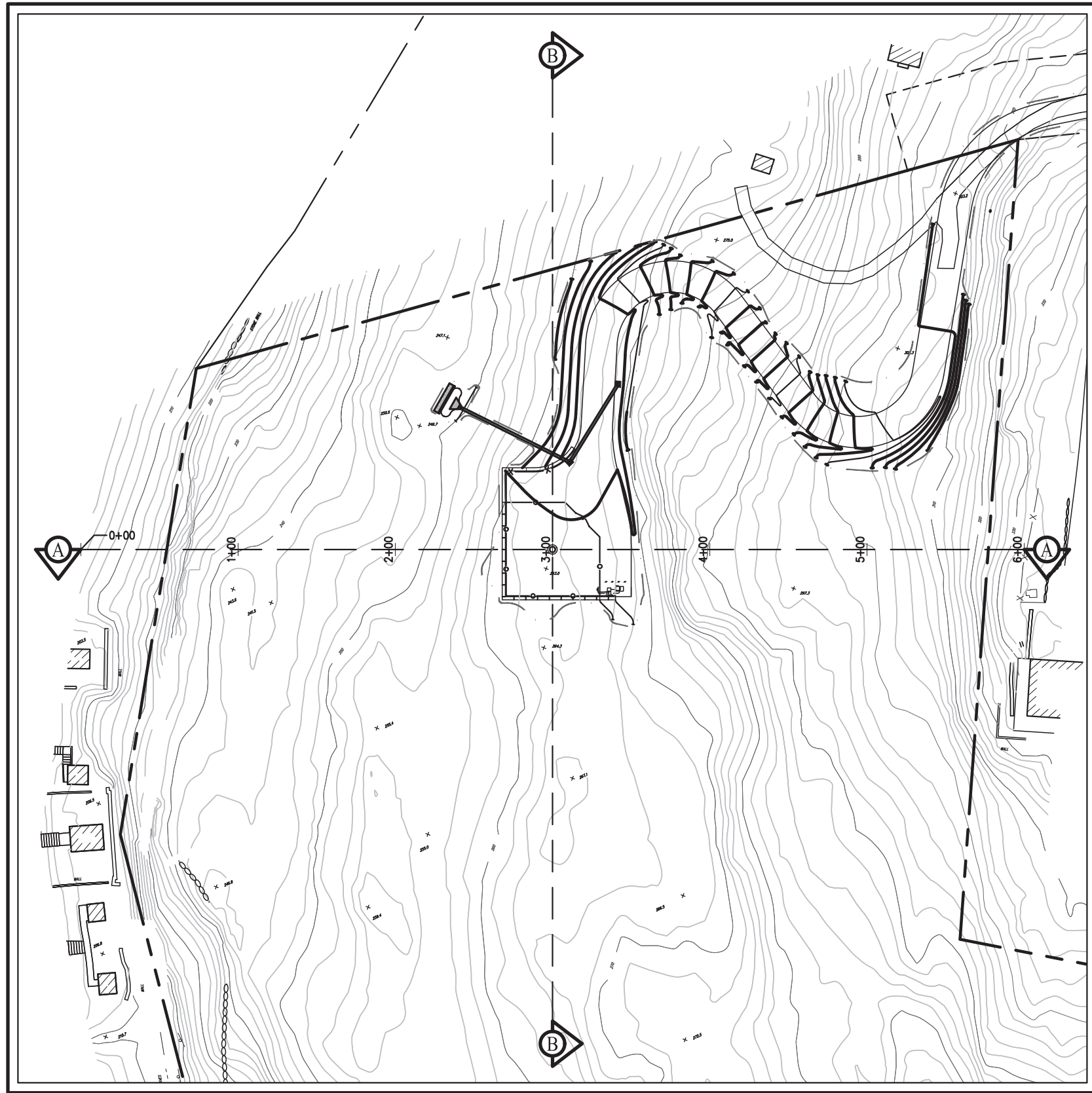


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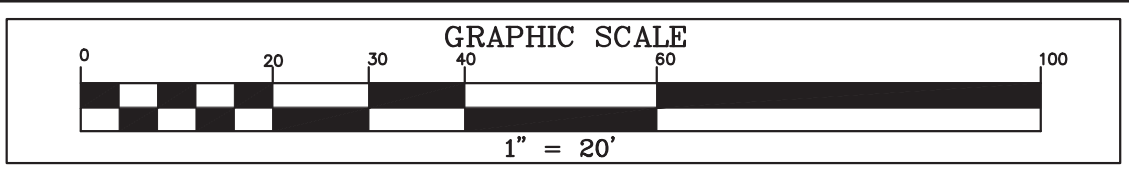
STATION (FEET)
SITE SECTION A-A
SCALE: 1" = 20' HORIZ. 1" = 20' VERT.



SITE GRADING PLAN
SCALE: 1" = 80'

- NOTES:**
- APPROXIMATE TREE CANOPY HEIGHTS SHOWN HAVE BEEN OBTAINED FROM AVAILABLE UNITED STATES GEOLOGICAL SURVEY LIGHT DETECTION AND RANGING (LIDAR) DATA.
 - FOR CLARITY, EXISTING VEGETATION IN THE FOREGROUND/BACKGROUND OF THE SECTIONS IS NOT SHOWN.

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SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

NO.	REVISION	DATE	BY

DRAWN: PD	APPROVED: JS
SCALE: AS SHOWN	
DATE: 05/18/2020	
PROJECT NO: 16237	
DWG: 16237-SITE	TAB: SECTION A
SOP: 3, GRAD-UTIL-SE	
DRAWING NO: CD-13	

Previous Editions Obsolete

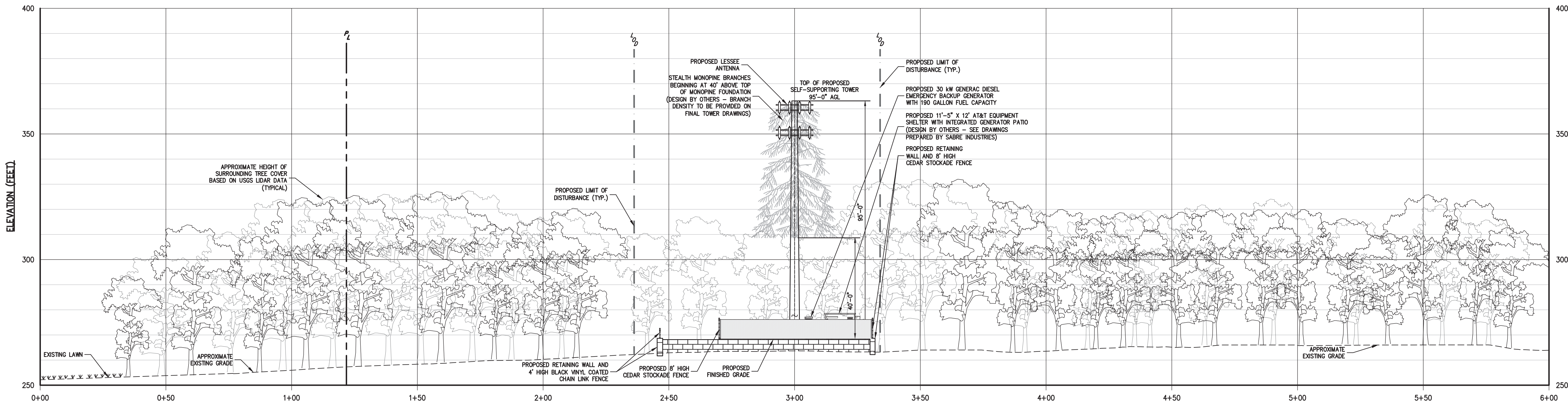
SITE CROSS SECTIONS
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD - ARMONK, NY 10504
voice 914.273.5225 • fax 914.273.2102
www.jmcplc.com

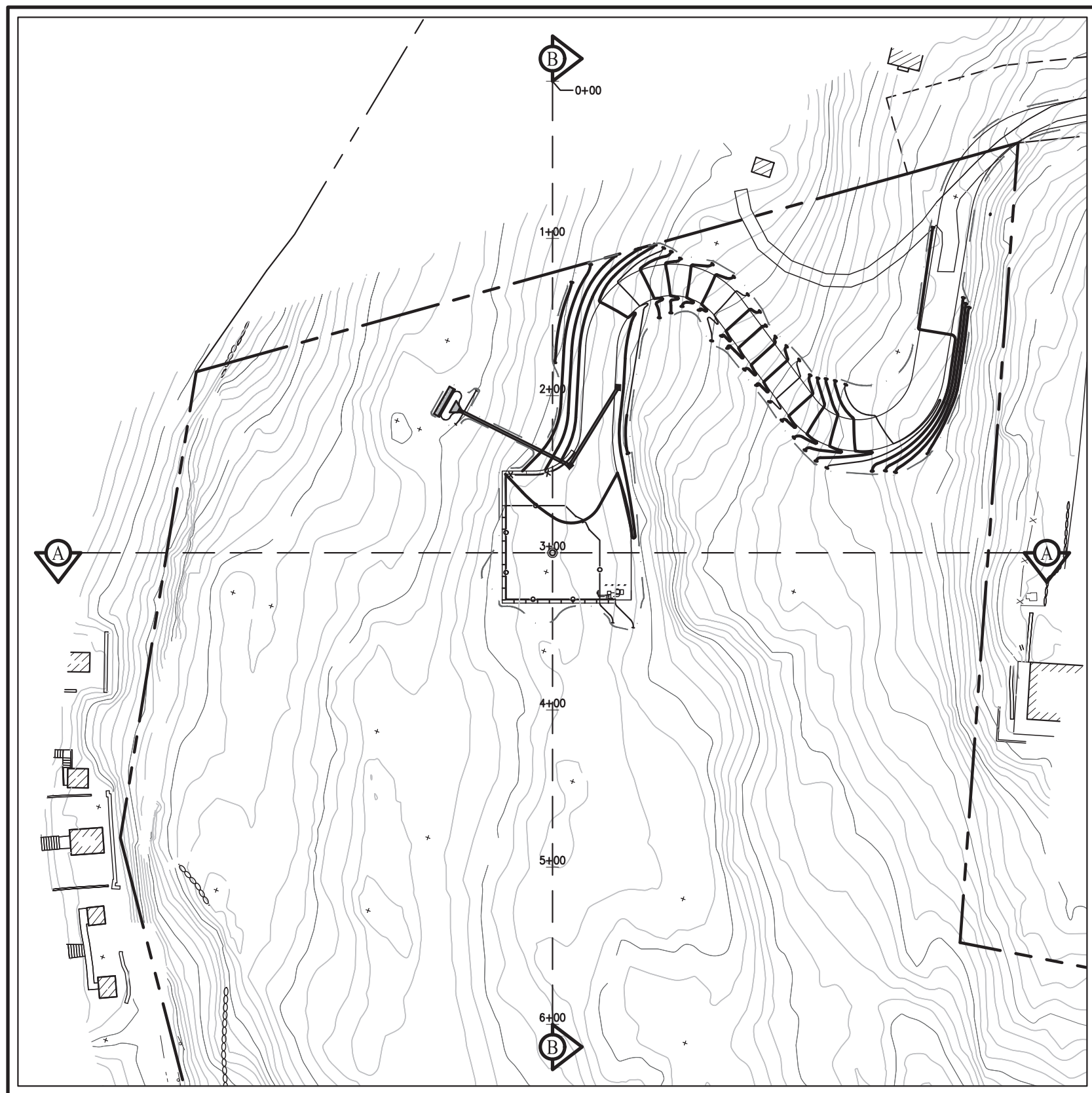
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SITE SECTION B-B
SCALE: 1" = 20' HORIZ. 1" = 20' VERT.

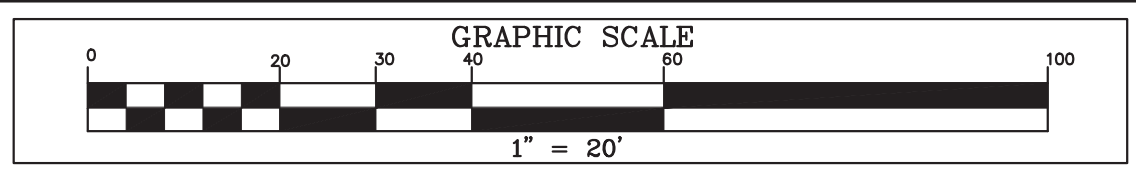


SITE GRADING PLAN
SCALE: 1" = 80'

NOTES:

- APPROXIMATE TREE CANOPY HEIGHTS SHOWN HAVE BEEN OBTAINED FROM AVAILABLE UNITED STATES GEOLOGICAL SURVEY LIGHT DETECTION AND RANGING (LIDAR) DATA.
- FOR CLARITY, EXISTING VEGETATION IN THE FOREGROUND/BACKGROUND OF THE SECTIONS IS NOT SHOWN.

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

NO.	REVISION	DATE	BY

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HOMELAND TOWERS
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CD-14

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